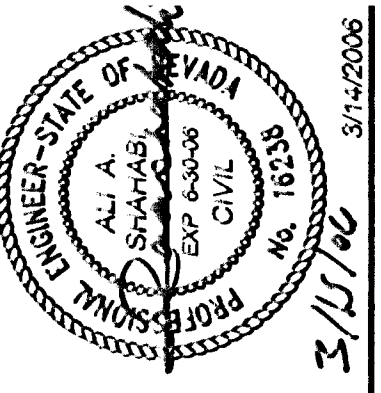
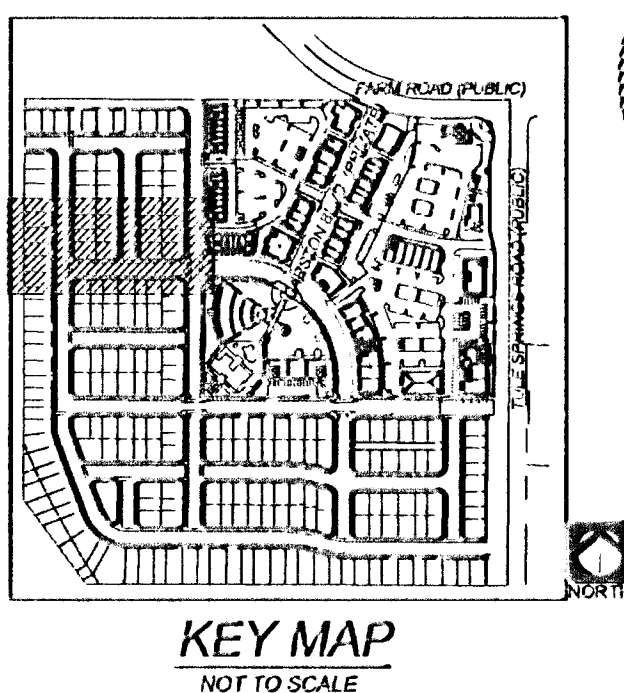
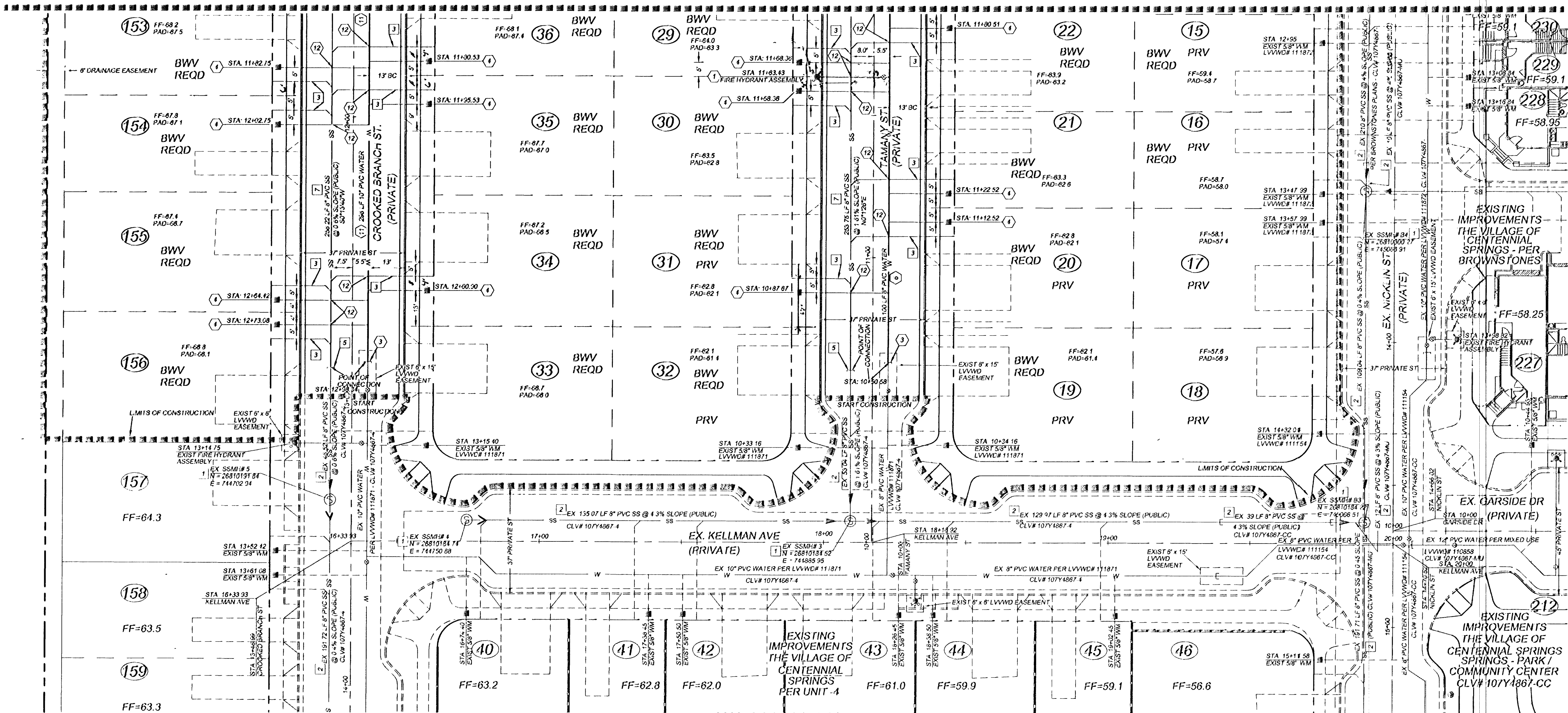
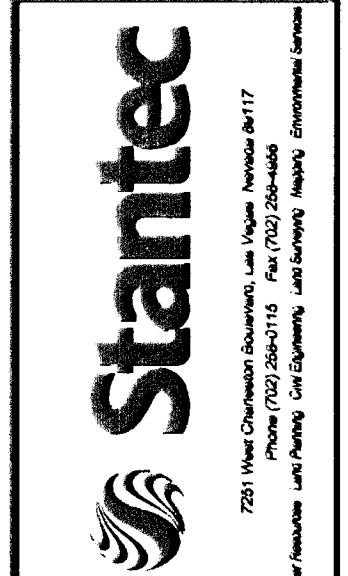


MATCHLINE SEE UP-1

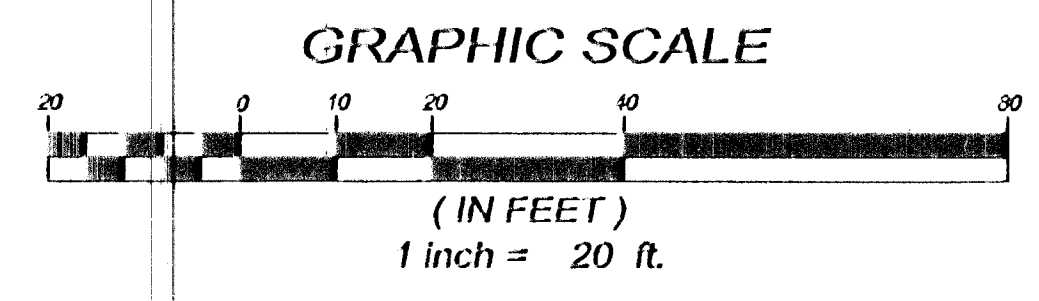
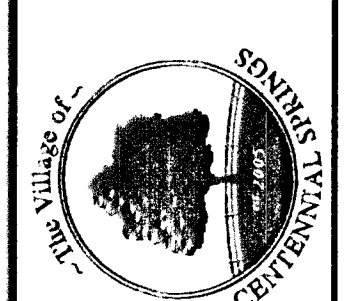


DRAWING ISSUE LOG:

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	3/15/06



THE VILLAGE OF CENTENNIAL SPRINGS UNIT - 5 UTILITY PLAN



Call before you Dig. 1-800-227-2600

Call before you OVERHEAD 1-702-393-6111

Call before you UnderGround 1-702-455-7511

SEWER FLOW CONTRIBUTION

#8 UNITS X 250 GPD/UNIT = 11,500 GPD AVG

11,500 GPD X 3.4 PEAKING FACTOR = 39,100 GPD PEAK

CITY OF LAS VEGAS FIRE DEPARTMENT APPROVAL

BY: *[Signature]* DATE: 3/15/06

APPROVED FOR CONSTRUCTION ESN 018

DATE: 4-17-06

ENGINEER'S NOTES

BENCHMARK

01500 16W4, CITY OF LAS VEGAS BENCHMARK, RIVET & PLATE IN TOP OF CURB & THE NORTH-EAST CORNER OF FARM ROAD AND TULE SPRINGS ROAD (FORMALLY DURANGO DRIVE) = 774.072m ± 244.69m

BASIS OF BEARINGS

NORTH 00°13'00" EAST, BEING THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 17, TOWNSHIP 19 SOUTH, RANGE 00 EAST, M.D.M., SAID LINE ALSO BEING THE CENTERLINE OF TULE SPRINGS ROAD AS SHOWN BY PLAT THEREOF ON FILE IN BOOK 81, PAGE 35 IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE

EXISTING UTILITY NOTE:

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDER-GROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. ALL DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO THE ENGINEER, CALL BEFORE YOU DIG. 1-800-227-2600

LAS VEGAS VALLEY WATER DISTRICT

NOTES:

REDUCED PRESSURE PRINCIPLE ASSEMBLY (1) 1"

APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S) SHALL BE INSTALLED PER THE UDACS PLATE NO. 11. A NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACK FLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPLE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVWD.

ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY.

EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION. ESN 028

INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTING, PER UDACS PLATE NO. 27.

THIS PROPERTY MAY HAVE STATIC WATER PRESSURE IN EXCESS OF 30 PSI. THE UNIFORM PLUMBING CODE REQUIRES THAT INDIVIDUAL, ON-SITE (PRIVATE), PRESSURE-REDUCING VALVES BE INSTALLED WHENEVER THE PRESSURE EXCEEDS 30 PSI. PRVS ARE THE DEVELOPER'S RESPONSIBILITY, AND WILL NOT BE INSPECTED OR INCLUDED IN THE ACCEPTANCE OF LVWD FACILITIES. ESN 041 REVISED 8/10/04

APPROVAL OF THESE PLANS FOR THE WATER STUBOUT INSTALLATION WILL NOT BE CONSIDERED AS A COMMITMENT FOR WATER SERVICE TO THIS PROPERTY. ESN 001 8/10/04

NOTE:

SEE HC - 1 SHEET FOR SIGHT VISIBILITY ZONES AND SIGNAGE

NOTE: NDOT PERMIT REQUIRED FOR ALL WORK IN NDOT ROW

SEWER CONNECTION NOTE:

A SEGMENT OF THE DOWNSIDE SEWER SYSTEM THAT WILL SERVE THIS PROJECT HAS NOT BEEN COMPLETED, AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY OF LAS VEGAS. ANY WORK DONE ON THIS PROJECT PRIOR TO THE COMPLETION AND/OR ACCEPTANCE OF THE DOWNSIDE SEWER SYSTEM(S) SHALL BE DONE AT THE DEVELOPER'S OWN RISK. THE CITY OF LAS VEGAS RESERVES THE RIGHT TO PREVENT THE PHYSICAL CONNECTION OF THIS PROJECT INTO THE DOWNSIDE SEWER SYSTEM UNTIL ALL SEGMENTS HAVE BEEN COMPLETED AND ACCEPTED FOR MAINTENANCE, OR UNTIL SUCH TIME AS THEY HAVE BEEN DEEMED AVAILABLE FOR SERVICE.

WATER NOTES

No.	ITEM
1	INSTALL FIRE HYDRANT ASSEMBLY PER UDACS PLATE NO. 7
2	INSTALL 10" x 10" TEE
3	REMOVE EXISTING CAP & BLOWOFF AND CONNECT TO EXISTING WATER LINE PER UDACS PLATE 1A
4	INSTALL 1" SERVICE SADDLE AND 1/2" METER PER UDACS PLATE 1B
5	INSTALL GATE VALVE (SAME SIZE AS MAIN)
6	INSTALL 3" WATER LINE (PVC, C-900 CL150) PER UDACS PLATE NO. 6B
7	CAP & B.O. MAIN PER UDACS PLATE 1A FOR FUTURE CONTINUATION
8	INSTALL 1" RPPA PER UDACS PLATE 11A
9	INSTALL 10" x 10" x 1" TEE
10	INSTALL 1" IRRIGATION SERVICE AND 1" METER PER UDACS PLATE 1D WATER PIPE, INSTALLED WITHIN THE ROW TO BE TYPE "X" COPPER
11	INSTALL 10" WATER LINE (PVC, C-900 CL150) PER UDACS PLATE NO. 6B
12	WATER & SEWER CROSSING PER UDACS PLATE NO. 219

SEWER NOTES

No.	ITEM
1	EXISTING 48" SD-1 MANHOLE (PUBLIC)
2	EXISTING 8" PVC SEWER LINE (PUBLIC)
3	INSTALL 4" PVC SEWER LATERAL (PRIVATE)
4	STUB & CAP 8" PVC SEWER FOR FUTURE USE (PUBLIC)
5	REMOVE CAP & CONNECT TO EXISTING STUB (PUBLIC)
6	INSTALL 48" SD-1 MANHOLE (PUBLIC)
7	INSTALL 8" PVC SEWER LINE (PUBLIC)

LEGEND

EXISTING	PROPOSED
RIGHT OF WAY/PROPERTY LINE	---
EASEMENT LINE	---
WATER LINE	---
SEWER LINE	---
FIRE HYDRANT	---
WATER VALVES	---
METERS/PULLBOXES	---
REDUCER	---
SEWER MANHOLE	---
1" CURB	---
1" CURB	---
LIMITS OF CONSTRUCTION	---

SANITARY SEWER MANHOLE TABLE

No.	SIZE	TYPE	RIM	INV. OUT	INV. IN	STATION	OFFSET	ST/AVE
EX SSM#1	48"	SD1	83.12	84.04	-	10+11.53	8.50 RT	NOKLIN ST
EX SSM#2	48"	SD1	80.75	81.50	81+27.10/10+08.53	8.50 RT	5.54 LT	NOKLIN ST / PINNEY AVE
EX SSM#3	48"	SD1	80.75	81.50	81+27.10/10+08.53	8.50 RT	5.54 LT	NOKLIN ST / PINNEY AVE
EX SSM#4	48"	SD1	81.07	81.50	81+27.10/10+08.53	8.50 RT	5.54 LT	NOKLIN ST / PINNEY AVE
EX SSM#5	48"	SD1	82.04	82.50	82+30.00	7.50 RT	7.50 RT	CROOKED BRANCH ST
EX SSM#6	48"	SD1	82.04	82.50	82+30.00	7.50 RT	7.50 RT	CROOKED BRANCH ST
EX SSM#7	48"	SD1	82.04	82.50	82+30.00	7.50 RT	7.50 RT	CROOKED BRANCH ST
EX SSM#8	48"	SD1	82.04	82.50	82+30.00	7.50 RT	7.50 RT	CROOKED BRANCH ST
SSM#1	48"	SD1	79.00	81.00	82+16.00	5.54 LT	5.54 LT	PINNEY AVE
SSM#2	48"	SD1	80.27	81.50	82+16.00	5.54 LT	5.54 LT	PINNEY AVE
SSM#3	48"	SD1	81.07	81.50	82+16.00	5.54 LT	5.54 LT	PINNEY AVE
SSM#4	48"	SD1	81.07	81.50	82+16.00	5.54 LT	5.54 LT	PINNEY AVE

NOTE:

ALL PRIVATE STREETS ARE P.U.E.'S, PUBLIC SEWER EASEMENTS & PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY THE HOA.

FIRE FLOW DATA

NOTE: FIRE FLOW BASED ON 2500 SF

FIRE FLOW REQUIREMENT IS 1500 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL BASED ON SQUARE FOOTAGE:

2500

LARGEST AREA BETWEEN 4-HOUR AREA SEPARATION WALLS: 2500

TYPE OF CONSTRUCTION: V-B

SPRINKLER SYSTEM: N

OCCUPANCY: SINGLE FAMILY RESIDENTIAL

REVIEWED BY: *[Signature]*

DATE: 3/15/06

91187
1519

DATE: March 14, 2006

JOB NO: 1891219000

FILE NAME:

DO NOT SCALE DRAWINGS

SHEET NO. 3 OF 13

UP-2
1074867-5