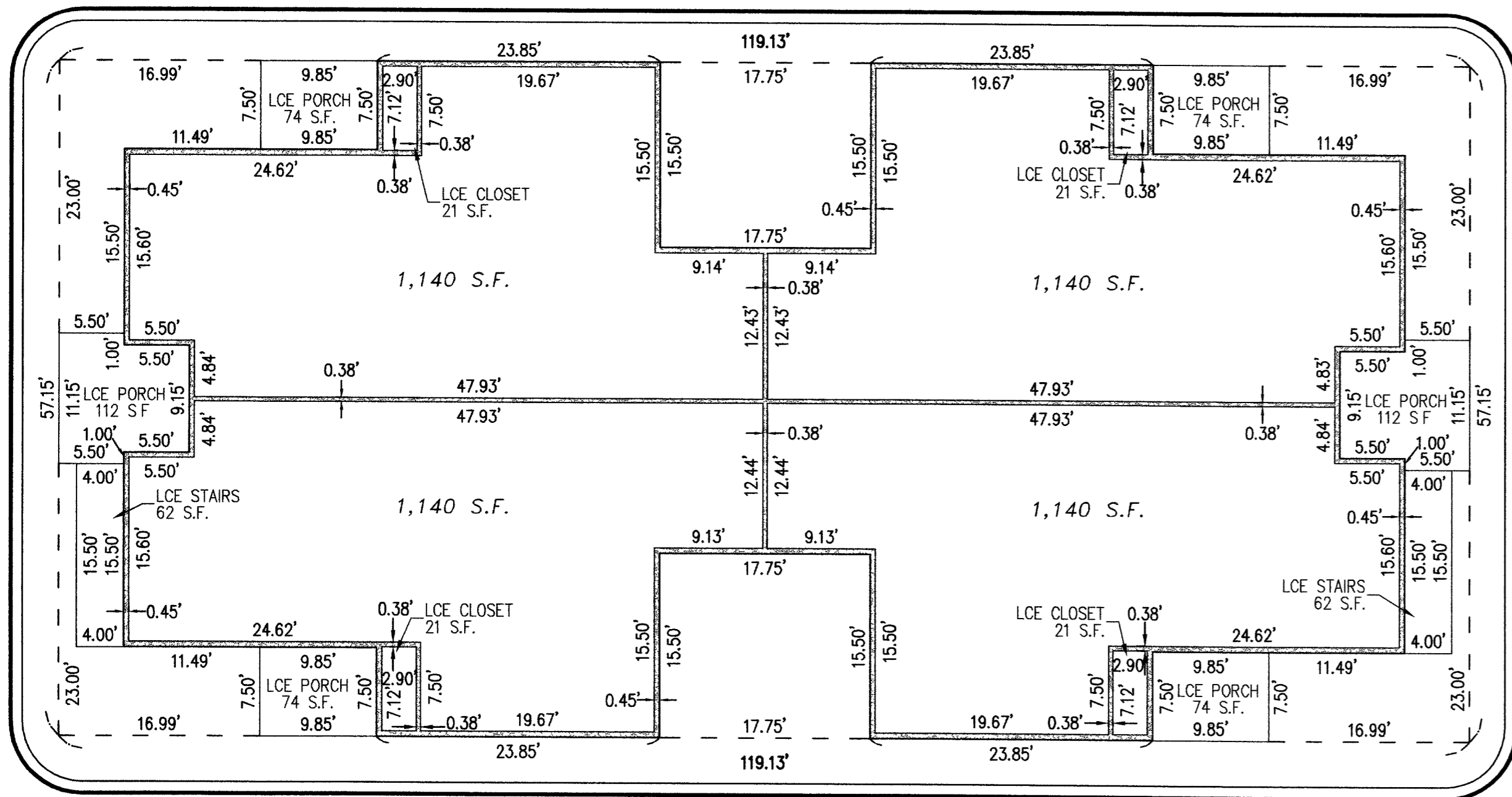
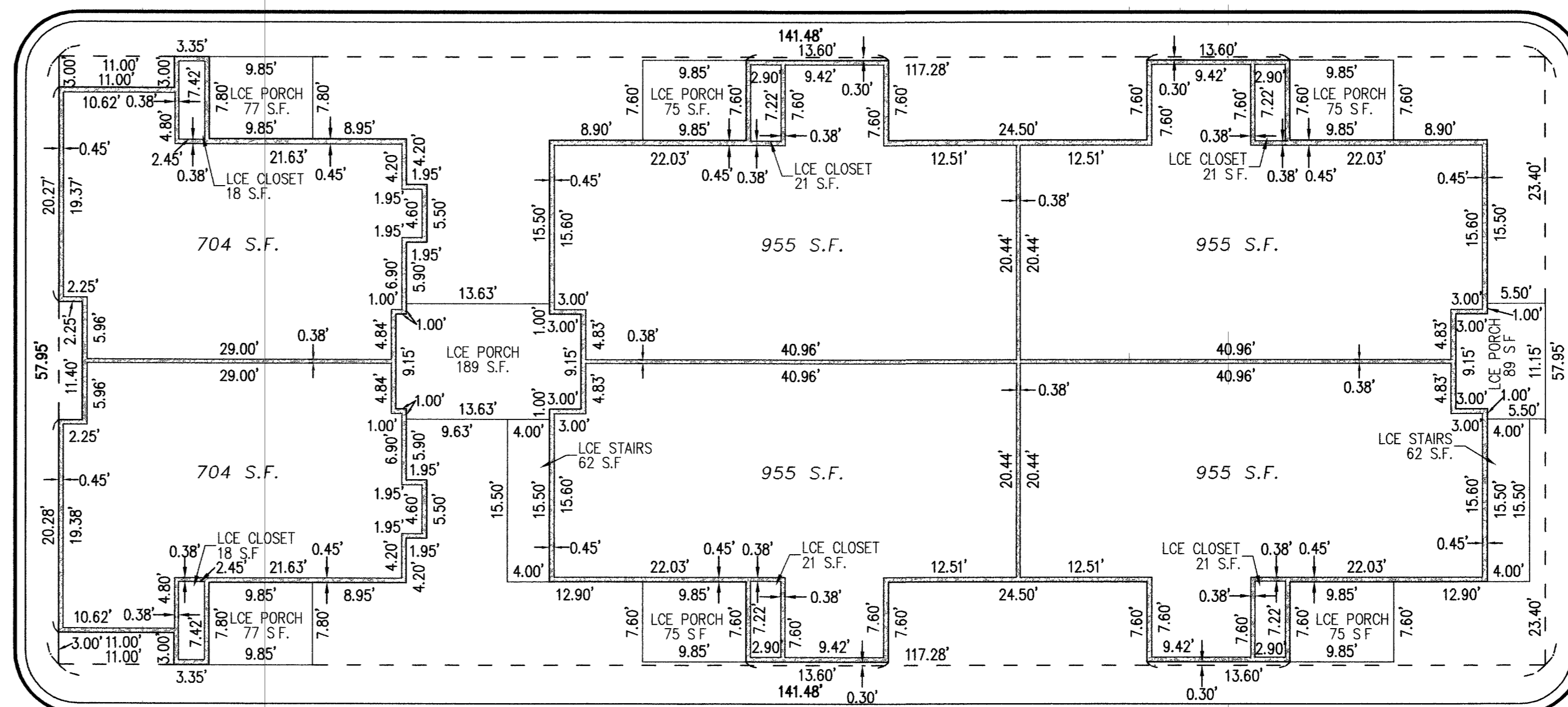


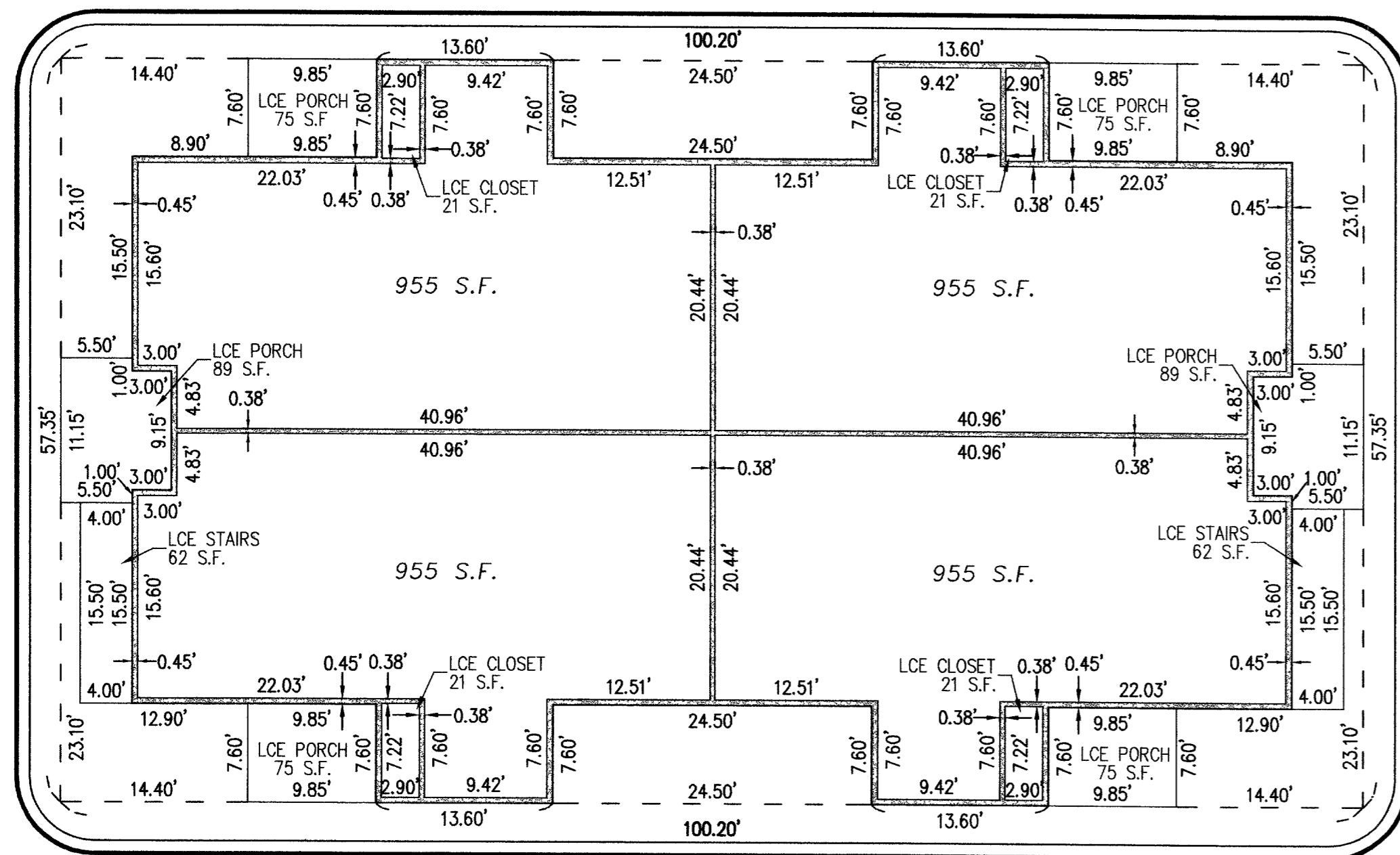
**FINAL MAP  
OF  
VERANO CONDOMINIUMS  
(BUILDING DETAILS/GENERAL NOTES)**



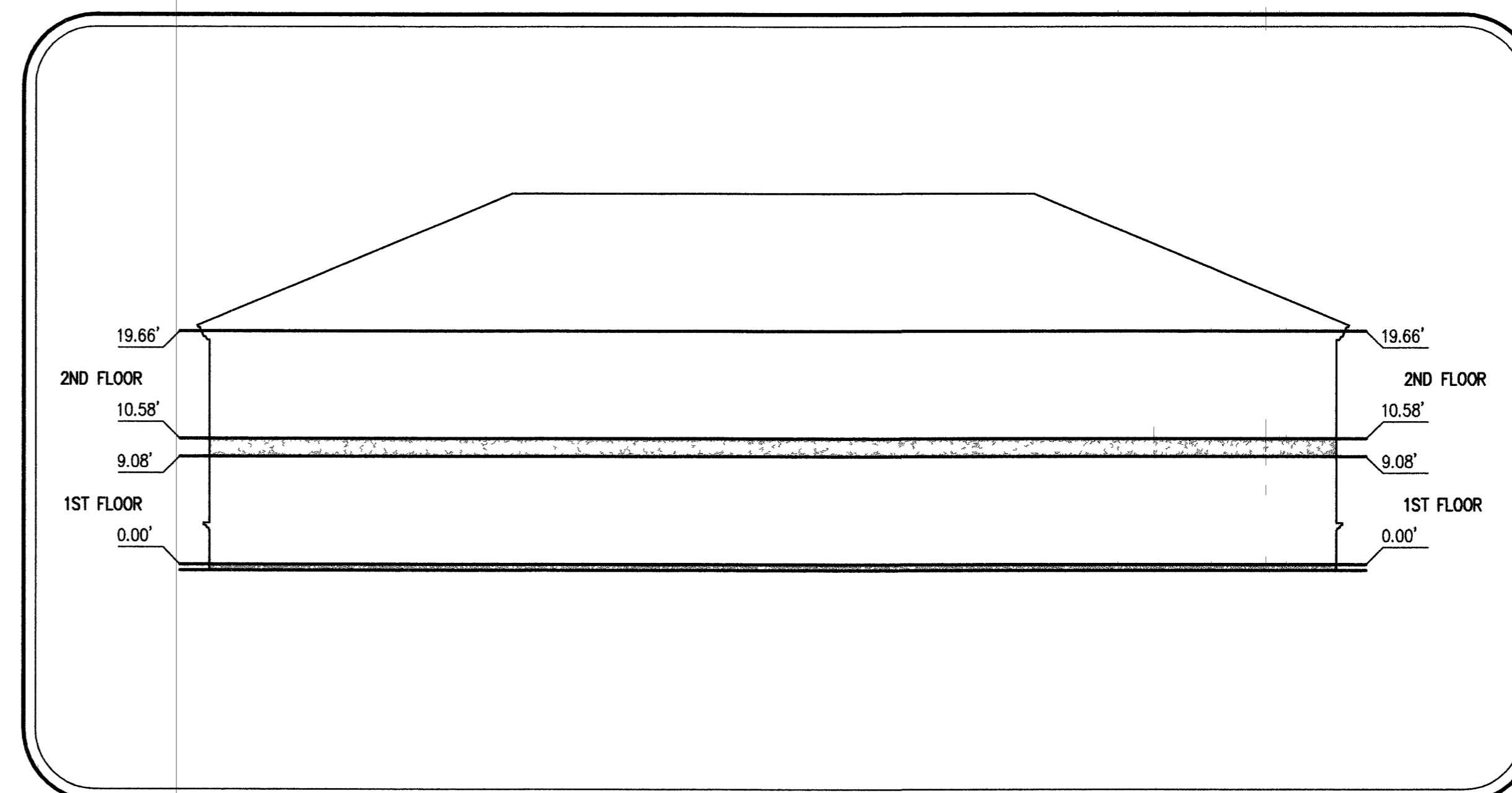
**BUILDING TYPE 'A' DETAIL**  
NOT TO SCALE



**BUILDING TYPE 'B' DETAIL**  
NOT TO SCALE



**BUILDING TYPE 'C' DETAIL**  
NOT TO SCALE



**TYPICAL BUILDING ELEVATIONS**  
NOT TO SCALE

**GENERAL NOTES:**

- 1) "UNITS" SHALL MEAN THE PORTIONS OF "VERANO CONDOMINIUMS" THAT ARE DESIGNATED AS UNITS HEREIN IN ACCORDANCE WITH N.R.S. 116.11039 AND AS FURTHER DEFINED PURSUANT TO N.R.S. 116.2104, AND N.R.S. 116.2105 IN THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS NOW OR HEREAFTER RECORDED WITH RESPECT TO THE REAL PROPERTY DESCRIBED HEREIN, THE "DECLARATION."
- 2) "COMMON ELEMENTS" SHALL MEAN THE PORTIONS OF "VERANO CONDOMINIUMS" OTHER THAN THE UNITS.
- 3) PORTIONS OF THE COMMON ELEMENTS ARE HEREBY SET ASIDE AND ALLOCATED FOR THE USE OF ONE OR MORE UNITS BUT LESS THAN ALL OF THE UNITS AS SHOWN HEREON AND AS SET FORTH IN AND SUBJECT TO N.R.S. 116.2102 SUB PARAGRAPHS 2 THROUGH 4 AND THE DECLARATION TO BE RECORDED, AND SUCH AREAS SHALL BE KNOWN AS AND REFERRED TO HEREIN AS "LCE" OR "LIMITED COMMON ELEMENTS". "LCE" FOLLOWED BY THE DESIGNATION:
  - (A) "R" SHALL MEAN A PORCH, BALCONY, OR STAIRWELL, AS APPLICABLE, EACH SUCH LIMITED COMMON ELEMENT IS HEREBY DESIGNATED AS A LIMITED COMMON ELEMENT ASSIGNED TO THE SPECIFIC UNIT WHICH SHARES THE SAME UNIT AND STYLE DESIGNATION; AND
  - (B) "M" SHALL MEAN A UTILITY OR MECHANICAL STORAGE AREA, AS APPLICABLE, EACH SUCH LIMITED COMMON ELEMENT IS HEREBY DESIGNATED AS A LIMITED COMMON ELEMENT ASSIGNED THE SPECIFIC UNIT WHICH SHARES THE SAME UNIT AND STYLE DESIGNATION.

**GENERAL NOTES:**

- 4) EXCEPT AS MAY BE MODIFIED, OR SUPPLEMENTED, BY THE DECLARATION, THE FOLLOWING SHALL BE DEEMED PART OF THE COMMON ELEMENTS (AND NOT BE DEEMED PART OF ANY UNIT): COLUMNS, GIRDERS, BEAMS, SUPPORTS, NON-STRUCTURAL AND SUPPORTING WALLS, FLOORS, CEILINGS, ROOFS, FOUNDATIONS, MECHANICAL SYSTEMS, SPRINKLER SYSTEMS, EXHAUST AND VENTILATION SYSTEMS AND OTHER CENTRAL SYSTEMS (INCLUDING ALL CHUTES, FLUES, DUCTS, WIRES AND CONDUITS CONSTITUTING A PART THEREOF), CHIMNEYS, DRAINAGE FACILITIES, PATIOS, BALCONIES, DECKS, PORCHES, STOOPS, EXITS AND ENTRANCES; PROVIDED, HOWEVER, THAT (A) IF ANY OF THE FOREGOING LIES PARTIALLY WITHIN AND PARTIALLY OUTSIDE OF THE DESIGNATED BOUNDARIES OF A UNIT, ANY PORTION THEREOF SERVING ONLY THAT UNIT SHALL BE A LIMITED COMMON ELEMENT ALLOCATED SOLELY TO THAT UNIT; (B) NON-STRUCTURAL WALLS LOCATED WHOLLY WITHIN A UNIT SHALL BE LIMITED COMMON ELEMENTS APPURTENANT TO SUCH UNIT; AND (C) ALL PANELING, TILES, WALLPAPER, PAINTING, FINISHED FLOORING AND OTHER MATERIALS CONSTITUTING ANY PORTION OF THE FINISHED SURFACES OF WALLS, FLOORS AND CEILINGS SHALL BE PART OF THE UNIT IN WHICH THEY ARE LOCATED, AND ALL OTHER PORTIONS OF THE WALLS, FLOORS AND CEILINGS SHALL BE PART OF THE COMMON ELEMENTS.
- 5) THE DIMENSIONS OF INTERIOR WALLS, FLOORS AND CEILINGS HEREIN ARE MEASURED TO THE INTERIOR FINISHED SURFACES OF SUCH WALLS, FLOORS AND CEILINGS AT TOP OF SLAB OR BOTTOM OF CEILING. THE BOUNDARIES OF UNITS ARE FURTHER DESCRIBED IN THE DECLARATION NOW OR HEREAFTER RECORDED.
- 6) THE DIMENSIONS FOR THE UNITS SHOWN HEREON ARE FOR THE FIRST AND SECOND FLOOR.

**SURVEYOR'S NOTE:**

- 1) UNLESS OTHERWISE NOTED, ALL INTERIOR WALL MEASUREMENTS ARE EITHER PARALLEL OR AT RIGHT ANGLES TO EACH OTHER.

81895

FINAL MAP OF  
**VERANO CONDOMINIUMS**  
(A CONDOMINIUM COMMUNITY)

A DIVISION OF A PORTION OF "LOT 1" PER FILE 60, PAGE 16 OF PARCEL MAPS IN THE OFFICE OF THE CLARK COUNTY RECORDER, SITUATED WITHIN THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 32, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

**W R G**  
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DATE: 03/24/2005 JOB#: RAZ 3044510.00 SHEET 6 OF 6  
10/7/1718 BOOK 124 PAGE 63