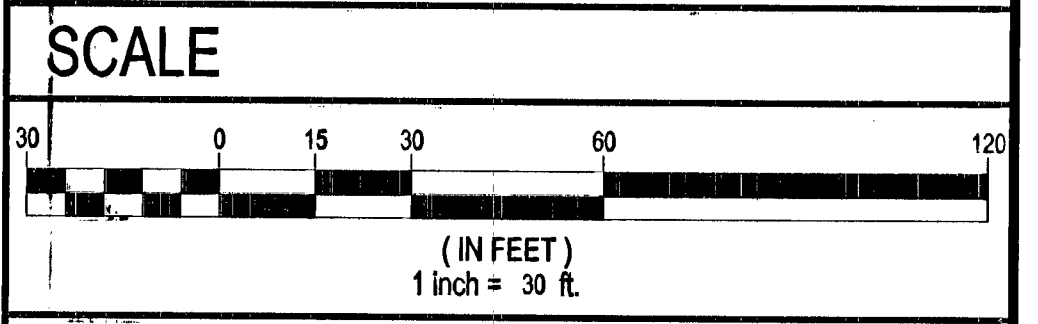


- ### CONSTRUCTION NOTES
- 3" VALLEY GUTTER (SEE DETAIL 'J' ON GD1)
 - INSTALL 48"x18" BLOCK WALL OPENING (SEE DETAIL 'K' ON GD1)
 - 9" MEDIUM DUTY DRAIN WITH A 4" PVC PIPE (SEE DETAIL 'L' ON GD1)
 - DECORATIVE 8" BLOCK WALL
 - LANDSCAPE ROCK WITH 3" AVERAGE DIAMETER 6" THICK OVER GEOTEXTILE FABRIC (SEE DETAIL 'N' ON GD1)
 - ACCESS GATE
 - 3" CUT OFF WALL (SEE DETAIL 'T' ON GD1)
 - 5.0' VALLEY GUTTER (SEE DETAIL 'P' ON GD1)
 - SAWCUT & MATCH EXISTING AC PAVEMENT PER CCALUSE #200.3, 300.4, 300.5, & 303
 - 3" AC PAVEMENT OVER 4" TYPE II (PER GEOTECHNICAL REPORT HTE# 13-45489)
 - 4" AC PAVEMENT OVER 4.5" TYPE II (PER GEOTECHNICAL REPORT HTE# 13-45489)
 - EX SSMH PROTECT IN PLACE

- ### GRADING NOTES
- COMPLETION OF SECTION II OF DRAINAGE COMPLIANCE REPORT REQUIRED.
- ADD 2800 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.
- THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.
- ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).
- ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2800 CALL BEFORE YOU OVERHEAD: 1-702-227-2929



LEGAL DESCRIPTION

THE WEST HALF (W 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. & M., CLARK COUNTY, NEVADA.

AND

GOVERNMENT LOT TWENTY-THREE (23) LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS (#6LV90-30W6) PIN AND ROUND PLATE IN CONCRETE PAD, NORTHEAST CORNER OF TROPICAL PKWY. AND CONQUISTADOR ST.

ELEVATION: 2696.81 (FEET)
821.989 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

BASIS OF BEARINGS

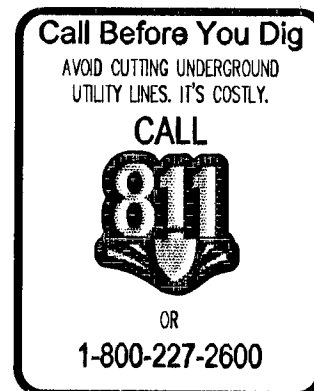
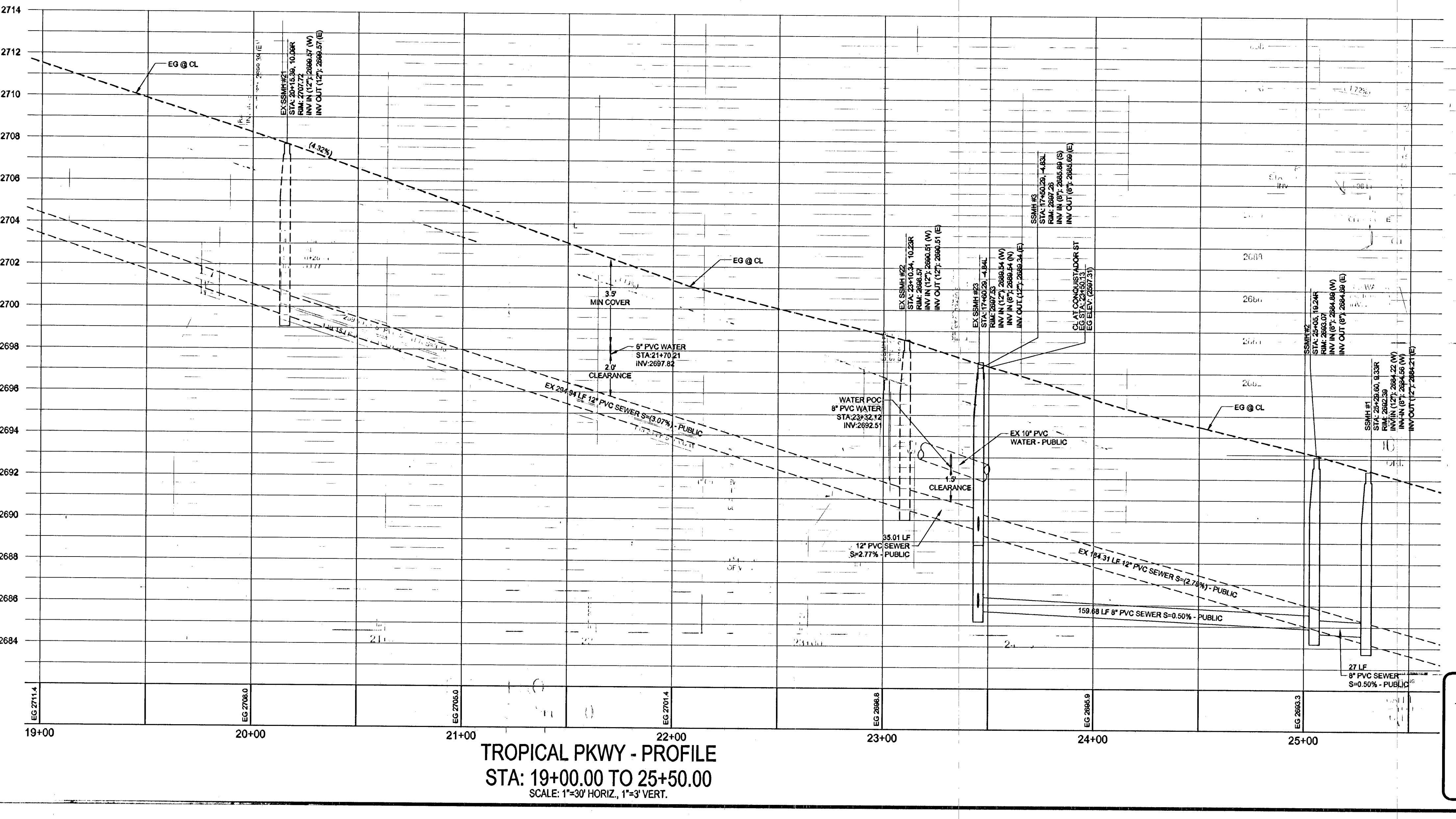
NORTH 89°59'27" EAST, BEING THE NORTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST AS SHOWN FILE 115, PAGE 93 OF SURVEYS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER.

APPROVAL BLOCK

APPROVED FOR CONSTRUCTION

[Signature]
DATE: 6/11/2014

1-702-227-2929



NO.	DESCRIPTION	SHITS	APPR.	DATE
<p>DR HORTON 330 CAROUSEL PKWY HENDERSON, NV 89014 (702) 635-3600 FAX: (702) 696-4901</p> <p>TANEY E. ENGINEERING 600 S. JONES BLVD STE# 100 LAS VEGAS, NV 89118 (702) 366-8844 FAX: (702) 362-5333</p>				
<p>TROPICAL PKWY PLAN AND PROFILE STA: 19+00 TO 25+50</p>				
<p>ENGINEER'S SEAL MICHAEL A. CUNNINGHAM Exp. 12-31-14 CIVIL No. 22027</p>				
<p>DATE: 6/11/2014</p> <p>SCALE: 1"=30'</p> <p>JOB NO: DRH-13-067</p> <p>DESIGNED BY: LS</p> <p>CHECKED BY: MC</p> <p>SHEET NAME: PP1</p> <p>SHEET: 05 OF 09</p> <p>H# 51813 307V108C</p>				