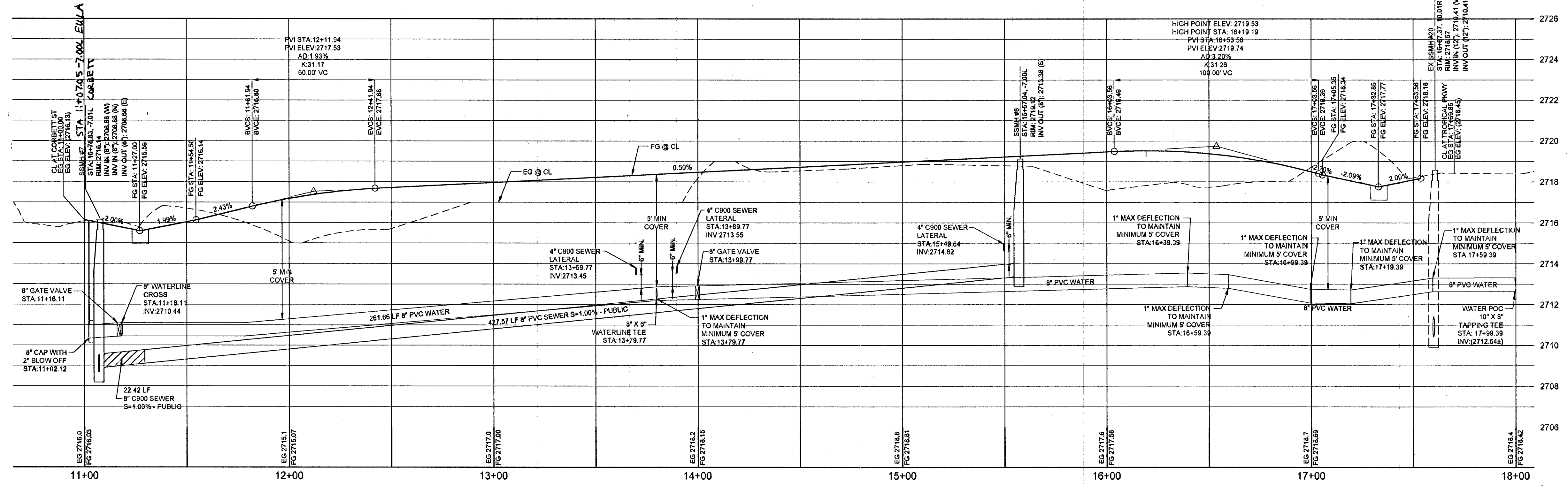
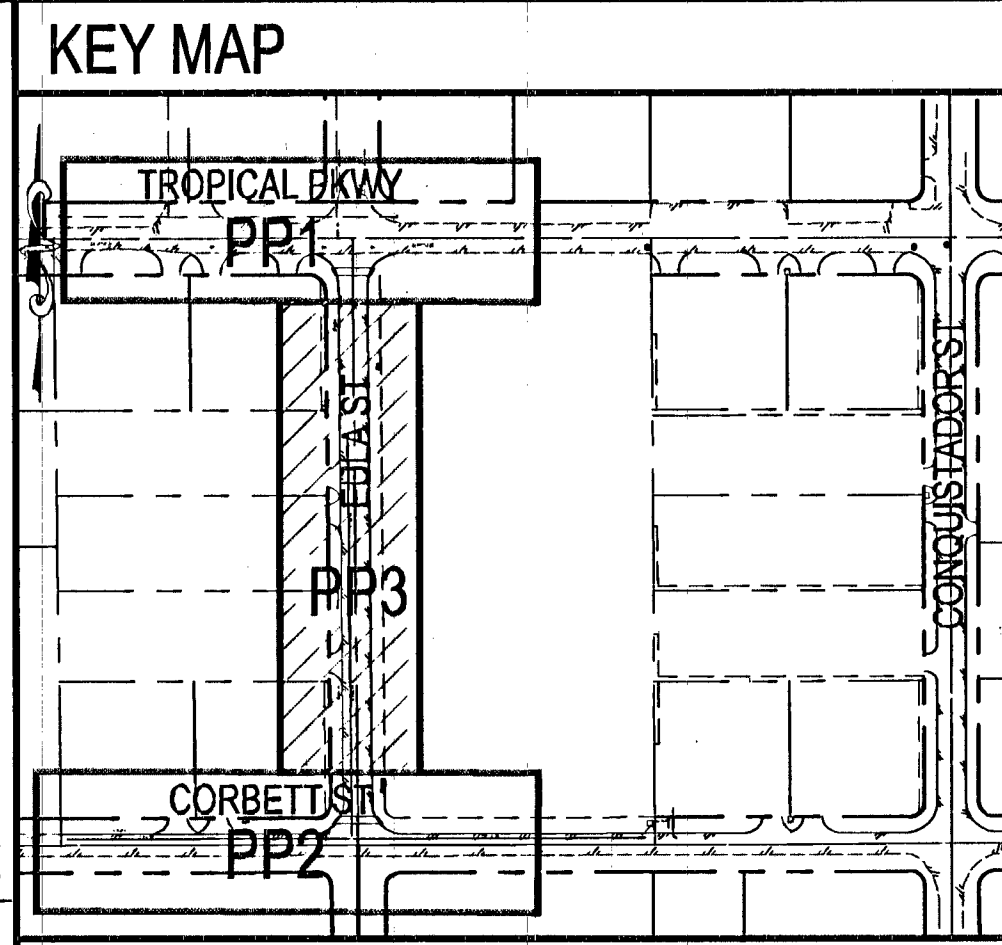


EULA ST - PLAN
STA: 11+00.00 TO 18+00.00



EULA ST - PROFILE
STA: 11+00.00 TO 18+00.00
SCALE: 1"=30' HORIZ, 1"=3' VERT.



- ### CONSTRUCTION NOTES
- SAV/CUT & MATCH EXISTING AC PAVEMENT PER CCASUB 503, 500, 4, 500, 5, & 503 (PER GEOTECHNICAL REPORT HTE# 13-45489)
 - 5" AC PAVEMENT OVER 4" TYPE II (PER GEOTECHNICAL REPORT HTE# 13-45489)
 - DECORATIVE 8" BLOCK WALL AND 5" MAX RETAINING WALL
 - LANDSCAPE ROCK WITH 3" AVERAGE DIAMETER 8" THICK OVER GEOTEXTILE FABRIC (SEE DETAIL 'L' ON GD1)
 - 3" CUT OFF WALL (SEE DETAIL 'L' ON GD1)
 - 4" AC PAVEMENT OVER 4.5" TYPE II (PER GEOTECHNICAL REPORT HTE# 13-45489)
 - CROSS GUTTER PER CCASUB #228 & 229
 - DRIVEWAY TRANSITION (SEE DETAIL 'W' ON SHEET GD1)

GRADING NOTES

COMPLETION OF SECTION II OF DRAINAGE COMPLIANCE REPORT REQUIRED.
ADD 2800 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.

THE ELEVATION DIFFERENCE BETWEEN THE PAD AND FINISH FLOOR IS DETERMINED FROM THE MINIMUM THICKNESS REQUIRED PER THE GEOTECHNICAL REPORT. FINISH FLOORS MAY INCREASE DEPENDING ON THE TYPE OF SOIL AND FOUNDATION PLAN USED. NOTE THAT THE STRUCTURAL PLANS & GEOTECHNICAL REPORT SHALL SUPERSEDE THE CIVIL IMPROVEMENT PLANS.

ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).

ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY. AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFFSITE OWNER AND GIVEN TO CLARK COUNTY.

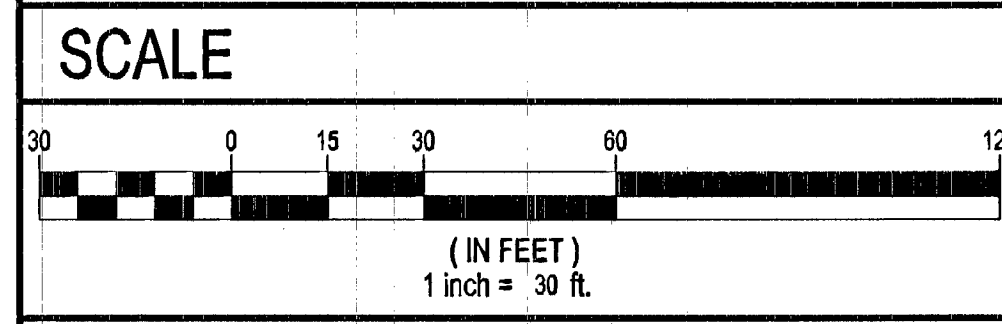
CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

APPROVAL BLOCK

[Signature] 10/20/14
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER (PRO.# 122426) DATE

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG. 1-800-227-2600. CALL BEFORE YOU OVERHEAD: 1-702-227-2929



LEGAL DESCRIPTION

THE WEST HALF (W 1/2) OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.B. & M., CLARK COUNTY, NEVADA.

AND
GOVERNMENT LOT TWENTY-THREE (23) LOCATED IN THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS (#BLV90-30V6) PIN AND ROUND PLATE IN CONCRETE PAD, NORTHEAST CORNER OF TROPICAL PKWY. AND CONQUISTADOR ST.
ELEVATION: 2696.81 (FEET)
821.989 (METERS)

CLARK COUNTY VERTICAL CONTROL V.2003 BASED ON NORTH AMERICAN VERTICAL DATUM OF 1989 (NAV89)

BASIS OF BEARINGS

NORTH 89°59'27" EAST, BEING THE NORTH LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) SECTION 30, TOWNSHIP 19 SOUTH, RANGE 60 EAST AS SHOWN FILE 115, PAGE 93 OF SURVEYS IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER.

CLARK COUNTY
DEPARTMENT OF PUBLIC WORKS
DEVELOPMENT REVIEW
ACCEPTANCE OF PLANS FOR FILING

CLARK COUNTY
DEPARTMENT OF PUBLIC WORKS DEVELOPMENT REVIEW

ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICTED HEREIN.

NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.

NO.	DESCRIPTION	APPR.	DATE

DR HORTON
330 CAROUSEL PKWY
HENDERSON, NV 89014
(702) 655-3600 FAX: (702) 655-4601

TANEY ENGINEERING
6090 S. JONES BLVD STE# 100
LAS VEGAS, NV 89118
(702) 362-8844 FAX: (702) 362-5233

TROPICAL AND CONQUISTADOR 3
A RESIDENTIAL SUBDIVISION

EULA ST PLAN AND PROFILE
STA: 11+00 TO 18+00

ROBERT D. CUNNINGHAM
Exp. 12-31-14
CIVIL
No. 15726
10/14
ENGINEER'S SEAL

DATE: 10/6/2014
SCALE: 1"=30'
JOB NO: DRH-13-087
DESIGNED BY: LS
CHECKED BY: MC
SHEET NAME: PP3
SHEET: 07 OF 09
H#51915
307V W95
13-45487

AVOID HITTING OVERHEAD POWER LINES. IT'S COSTLY.

CALL BEFORE YOU DO OVERHEAD

CALL BEFORE YOU DIG
AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.

CALL 811

1-702-227-2929

1-800-227-2600