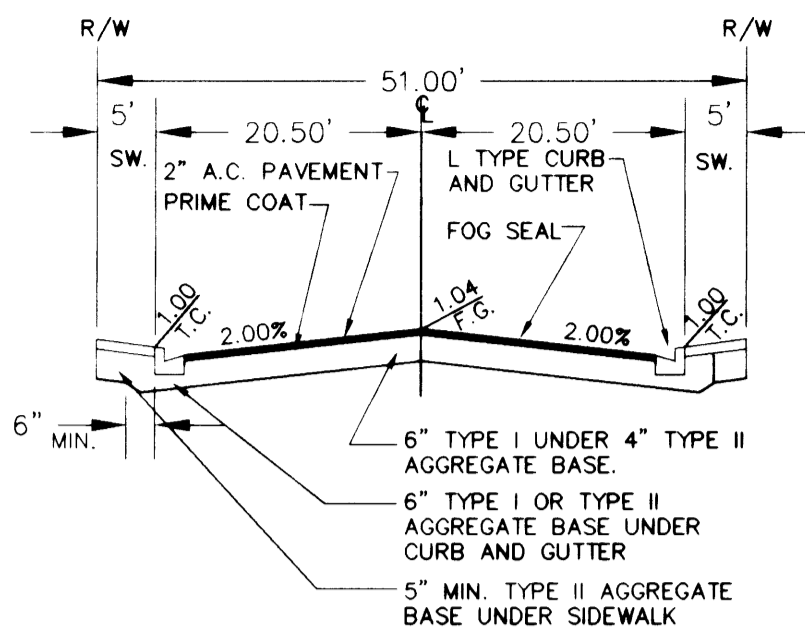


**GENERAL NOTES**

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE, THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST ISSUE, AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY, THE "UNIFORM BUILDING CODE", AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER, GAS AND/OR OTHER UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- TYPE V CEMENT SHALL BE USED IN ALL OFFSITE CONCRETE WORK. CONCRETE TO BE 3000 PSI MINIMUM @ 28 DAYS. MIX DESIGN TO BE APPROVED BY THE QUALITY CONTROL DIVISION PRIOR TO USE ON THE PROJECT.
- PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
- EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED TYPE CURB.
- AC PAVEMENT TO BE 1/2" ABOVE UP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS.
- APPLY FOG SEAL ONLY AFTER ALL CORRECTIONS AND ADJUSTMENTS HAVE BEEN MADE.
- CURB & GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION. ANY CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING 235 CASE 1. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE AS SHOWN ON PLANS, OR AS DESIGNATED IN THE FIELD BY A CITY INSPECTOR.
- ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY GEOSOLS, INC., GSI-NEVADA WORK ORDER NO. 432-LV, DATED DEC. 8, 1995, AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
- EXACT LOCATION OF ALL SAWCUT LINES MAY BE DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS INSPECTOR IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.550.
- UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC. SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND CITY ENGINEER.
- WALL NOTES:
  - ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN FOR THE PURPOSE OF GRADING RELATIONSHIPS.
  - THE STRUCTURAL AND ARCHITECTURAL DESIGN OF ALL WALLS (RETAINING OR NON-RETAINING) MUST BE APPROVED BY THE CLV BUILDING DEPARTMENT.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT ON CITY STREETS.

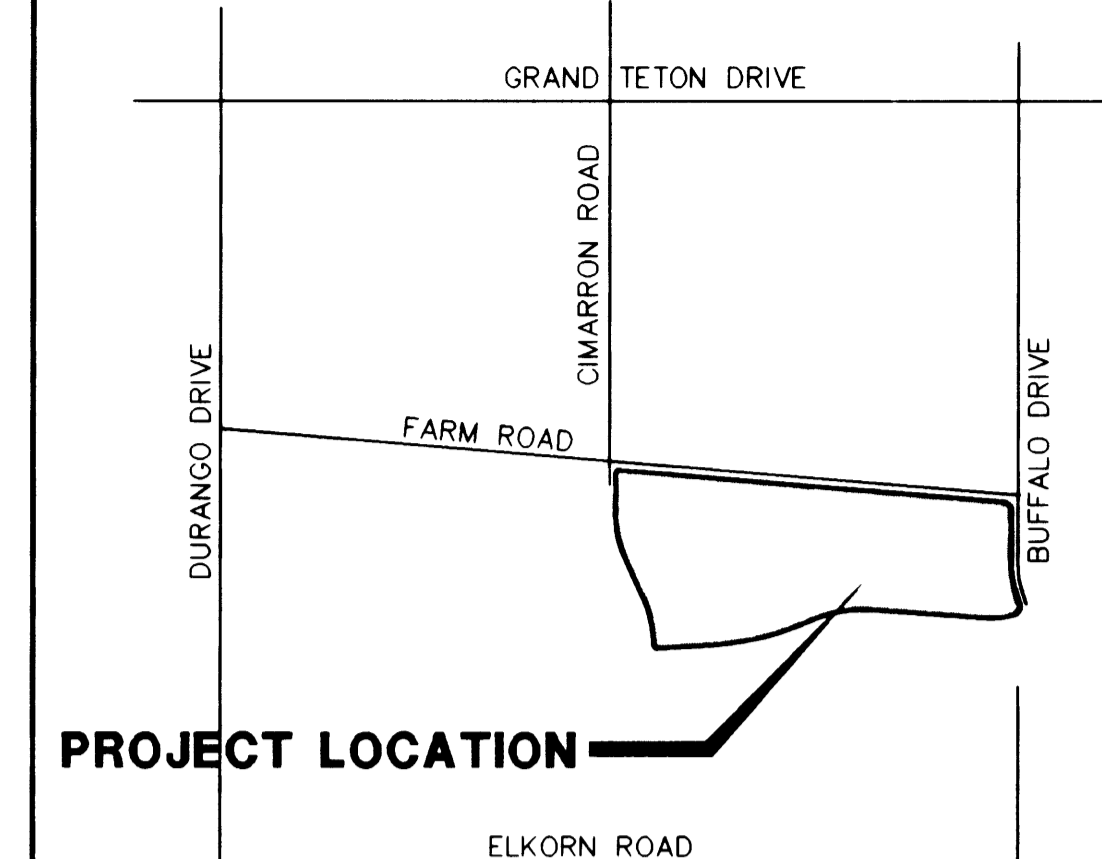


**TYPICAL STREET SECTION**

**APPROXIMATE QUANTITIES**

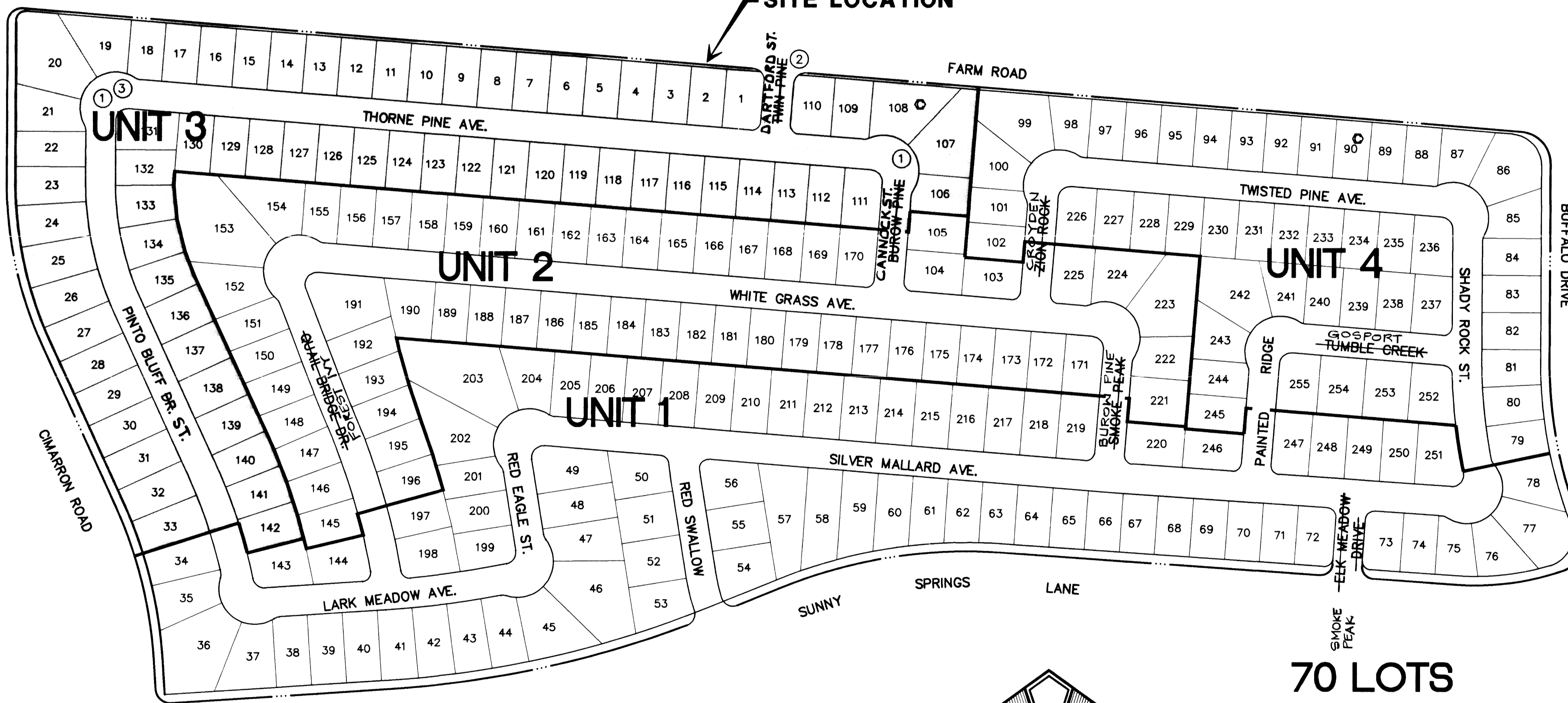
ITEM	QUANTITY	TOTAL
STREET IMPROVEMENTS		
1. 2" A.C. PAVMT W/4" TYPE II & 6" TYPE I BASE (51' WIDE STREET)		89,939 SF
2. "L" TYPE CURB AND GUTTER		4,701 LF
3. CONCRETE DRIVEWAY W/6" TYPE II BASE		25,425 SF
4. 5.0' WIDE SIDEWALK W/5" TYPE II BASE		23,503 SF
5. 8.0' WIDE CONCRETE CROSS GUTTER W/10" TYPE II BASE		636 SF
6. ACCESS RAMPS		4 EA

**NOTE TO CONTRACTOR:**  
QUANTITIES SHOWN ARE APPROXIMATIONS ONLY AND ARE INTENDED TO ILLUSTRATE THE SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT QUANTITIES.



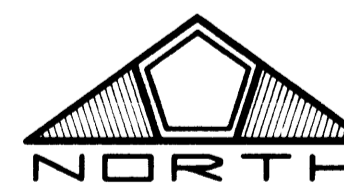
**VICINITY MAP**

**SITE LOCATION**



**KEY MAP**

**70 LOTS  
14.09 ACRES**



**DEVIATIONS FROM STANDARDS**

- ALL KNUCKLES ARE NON-STANDARD.
- ENTRY VERTICAL CURVE IS SHORTER THAN REQUIRED TO PROVIDE ROOM FOR STREET TRANSITION.
- VERTICAL CURVES NOT USED AT SLOPE CHANGES IN KNUCKLES IN ORDER TO PROVIDE POSITIVE DRAINAGE.

**INDEX OF DRAWINGS**

SHT. #	DESCRIPTION
1.	COVER SHEET
2.	NOTES, MISCELLANEOUS DETAILS, AND QUANTITIES
3.	UTILITY PLAN 1
4.	UTILITY PLAN 2
5.	UTILITY PLAN 3
6.	PINTO BLUFF DRIVE STREET PLAN AND PROFILE
7.	THORNE PINE AVENUE STREET PLAN AND PROFILE
8.	THORNE PINE AVENUE STREET PLAN AND PROFILE
9.	CARRISOK ST. & BURRO PINE & TWIN PINE ST. STREET PLAN AND PROFILE
10.	GRADING PLAN 1
11.	GRADING PLAN 2
12.	GRADING DETAILS

**LEGEND**

---	SUBDIVISION LIMITS	---	EXISTING EDGE OF PAVEMENT
---	STREET CENTERLINE	---	FLOW LINE
---	FUTURE IMPROVEMENTS	---	FINISHED GRADE
145	LOT NUMBER	FL	TOP OF CURB
(08.5)	EXISTING PAD ELEVATION	TC	GRADE BREAK
(08.5)	PROPOSED PAD ELEVATION	GB	SIDEWALK RAMP
(08.5)	FUTURE PAD ELEVATION	---	2:1 SCARP
---	EXISTING CONTOUR	---	EXISTING WATER LINE
(98.63)	EXISTING ELEVATION	---	PROPOSED WATER LINE
98.63	PROPOSED ELEVATION	---	EXISTING SEWER LINE
---	PROPOSED CONTOUR	---	PROPOSED SEWER LINE
---	DRAINAGE SWALE W/FLOW DIRECTION & GRADE INDICATED	---	EXISTING SEWER MANHOLE
---		---	PROPOSED SEWER MANHOLE

**LEGAL DESCRIPTION**

A PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M.

**BENCHMARK**

CLV BM # 14 @ STA. 1LV90 21N6  
3" BRASS CAP USC&GS BM #113 3/4 MILE NORTH OF 1LV9028NNE6, 50 FEET EAST OF OLD RAILROAD BED  
ELEVATION = 2453.515' (NGVD29) PROJECT DATUM  
NAVD88 = NGVD29 + 2.396' = 2454.91

**BASIS OF BEARING**

NORTH 85°49'40" WEST, BEING THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 16, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., AS SHOWN IN ELKHORN SPRINGS - UNIT NO. 1 MAP IN BOOK 60, PAGE 72, OF PLATS ON FILE AT THE COUNTY RECORDERS OFFICE, CLARK COUNTY, NEVADA.

**OWNER / DEVELOPER**

RHODES HOMES  
4630 ARVILLE LANE  
LAS VEGAS, NEVADA 89103  
(702) 873-5338

Avoid cutting underground utility lines. It's costly.

**Call before you Dig**  
1-800-227-2600  
UNDERGROUND SERVICE ALERT (USA)

RECOMMENDED BY: [Signature]  
DATE: 08/27/96  
DRAWN BY: [Signature]  
DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
JOB NO.: 01681090  
SCALE: NONE

**PENTACORE**  
CIVIL ENGINEERING & LAND SURVEYING & PLANNING  
CONS. 8783 WEST CHARLESTON BOULEVARD  
LAS VEGAS, NEVADA 89102 (702) 258-0115

RHODES HOMES  
THE MEADOWS AT ELKHORN SPRINGS - UNIT 3  
NOTES, MISCELLANEOUS DETAILS AND QUANTITIES

SHEET **2** OF 12