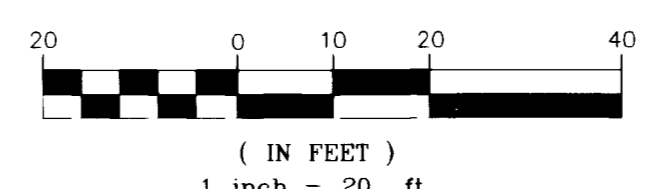


[69.5]

[68.0]

[66.6]



BASIS OF BEARING

NORTH 89°36'13" WEST BEING THE BEARING OF THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., AS SHOWN ON A MAP ON FILE IN THE CLARK COUNTY, NEVADA RECORDER'S OFFICE AS BOOK 21, PAGE 88 OF PLATS.

BENCHMARK

RIVET & PLATE IN TOP OF CURB @ NW CORNER OF BUFFALO & WASHINGTON. DESIGNATED AS 00LV00 28E4.

BENCHMARK ELEVATION=2476.33' NAVD 88.

LEGEND

- PROPERTY LINE / RIGHT-OF-WAY
- VALLEY GUTTER
- "A" TYPE CURB
- EXISTING IMPROVEMENTS
- FIRE HYDRANT
- STREET LIGHT
- WHEELCHAIR RAMP
- PROPOSED ELEVATION (DESCRIPTION AS SHOWN)
- EXISTING ELEVATION (DESCRIPTION AS SHOWN)
- SLOPE PERCENTAGE AND DIRECTION
- DEMOLITION AREA
- EXIST SEWER MANHOLE
- EXIST WATER VALVE
- CROSS SECTION LOCATION
- PROPOSED CONTOUR
- FLOW LINE AND DIRECTION
- FLOW ARROW / DRAINAGE ARROW

ABBREVIATIONS

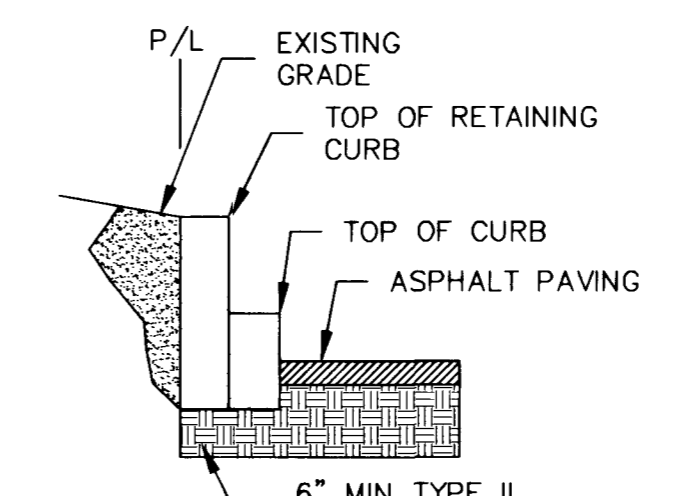
- TC-TOP OF CURB
- FL-FLOW LINE
- FG-FINISHED GRADE
- FF-FINISHED FLOOR
- FW-FRONT OF WALK
- BW-BACK OF WALK
- AC-ASHPALT CEMENT
- EXIST-EXISTING
- APPROX.-APPROXIMATE

CONSTRUCTION NOTES

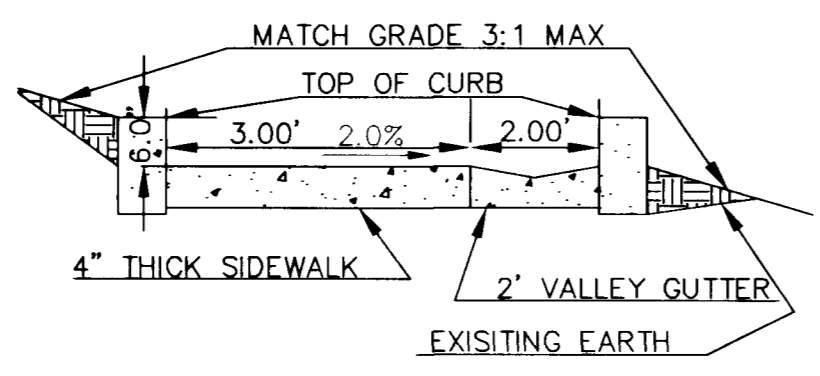
1. ALL CURB IS TO BE TYPE A PER USD #219.
2. ASPHALT CONCRETE SHALL BE 2" THICK IN PARKING AREAS.
3. MIN 4" THICK TYPE II BASE FOR PAVED AREAS.
4. ALL SIDEWALK SHALL BE INSTALLED PER USD #234.

KEY NOTES

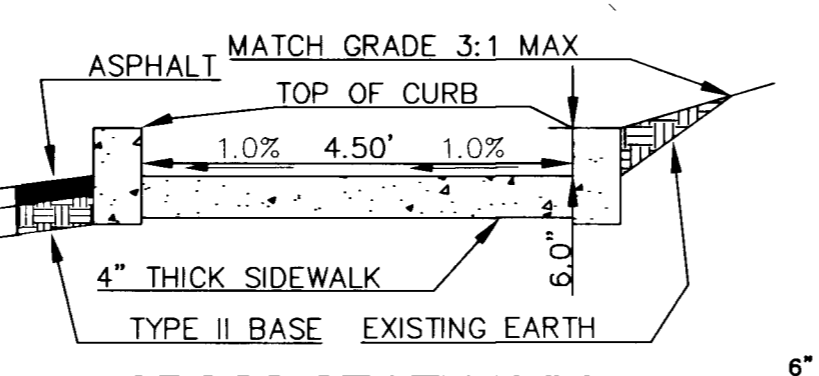
1. INSTALL 2' VALLEY GUTTER PER DETAIL 1, THIS SHEET.
2. INSTALL 3' VALLEY GUTTER PER DETAIL 2, THIS SHEET.
3. SAW CUT AND REMOVE EXISTING IMPROVEMENTS, MATCH EXIST. AT CUT LINE.
4. INSTALL HANDICAP RAMP PER USD #235, A=12, B=4.5.
5. PROTECT EXISTING IMPROVEMENTS IN PLACE.
6. INSTALL RETAINING CURB PER DETAIL #3 THIS SHEET.



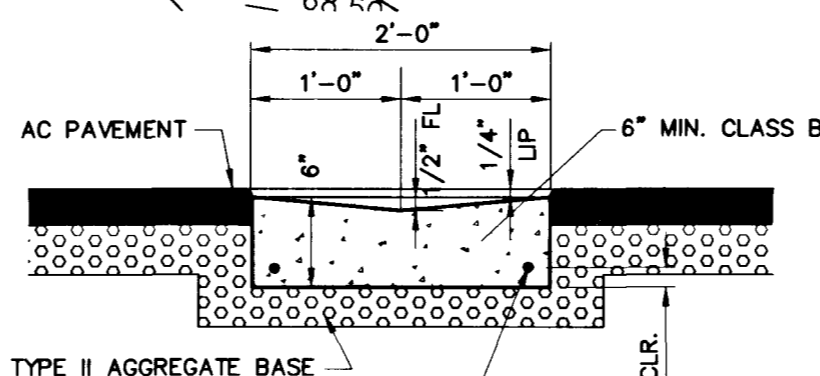
DETAIL 3 - RETAINING CURB



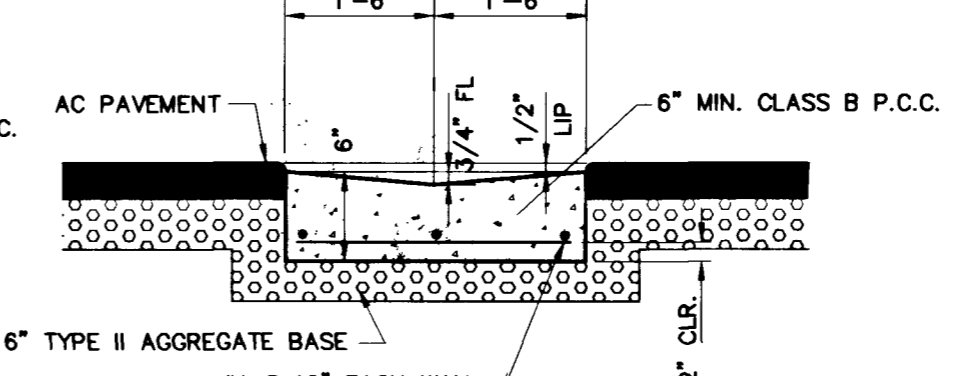
CROSS SECTION #5



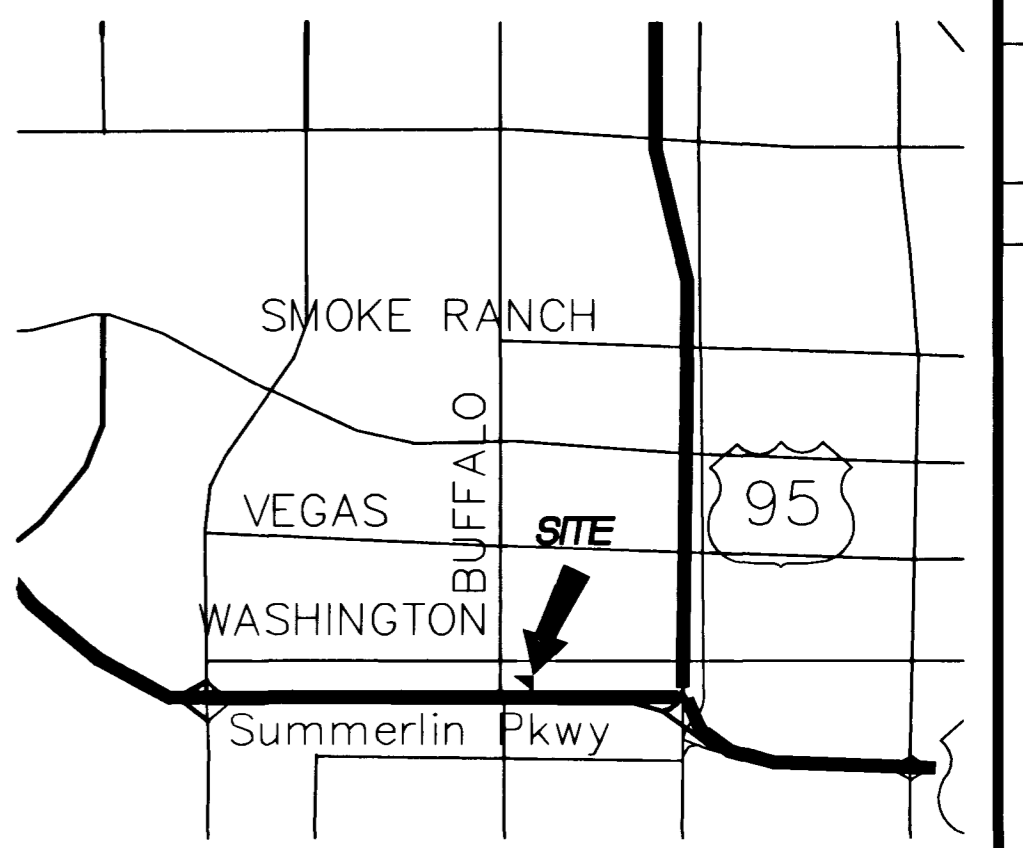
CROSS SECTION #4



DETAIL 1 - 2' VALLEY GUTTER



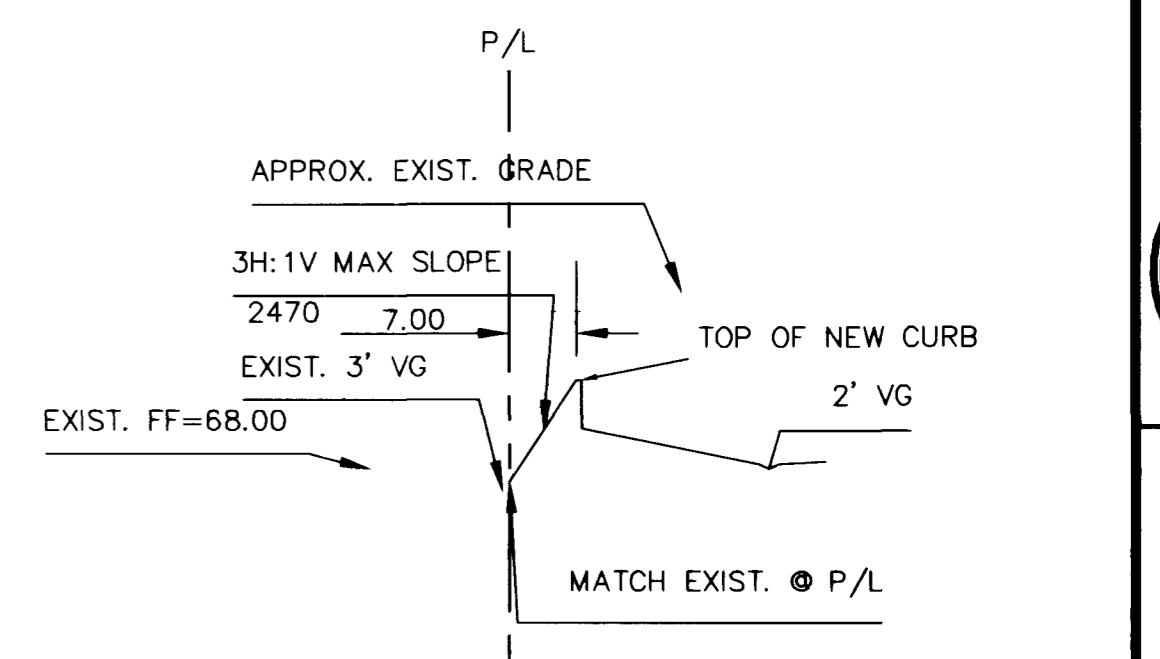
DETAIL 2 - 3' VALLEY GUTTER



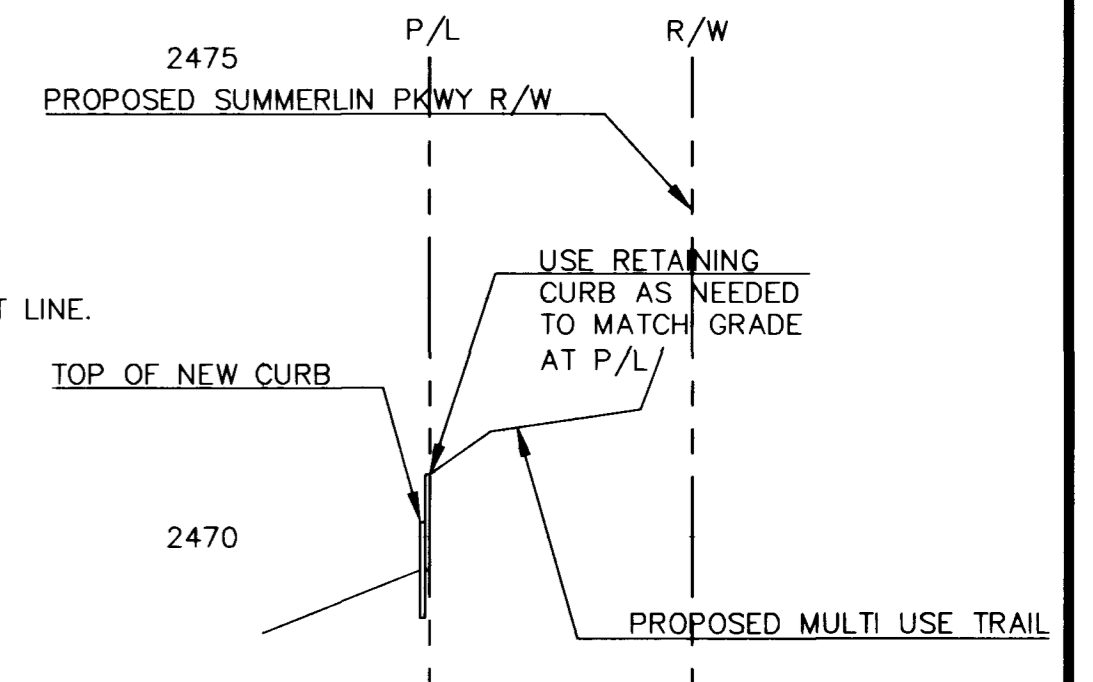
VICINITY MAP

THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY FILED WITH THE CITY OF LAS VEGAS FLOOD CONTROL.

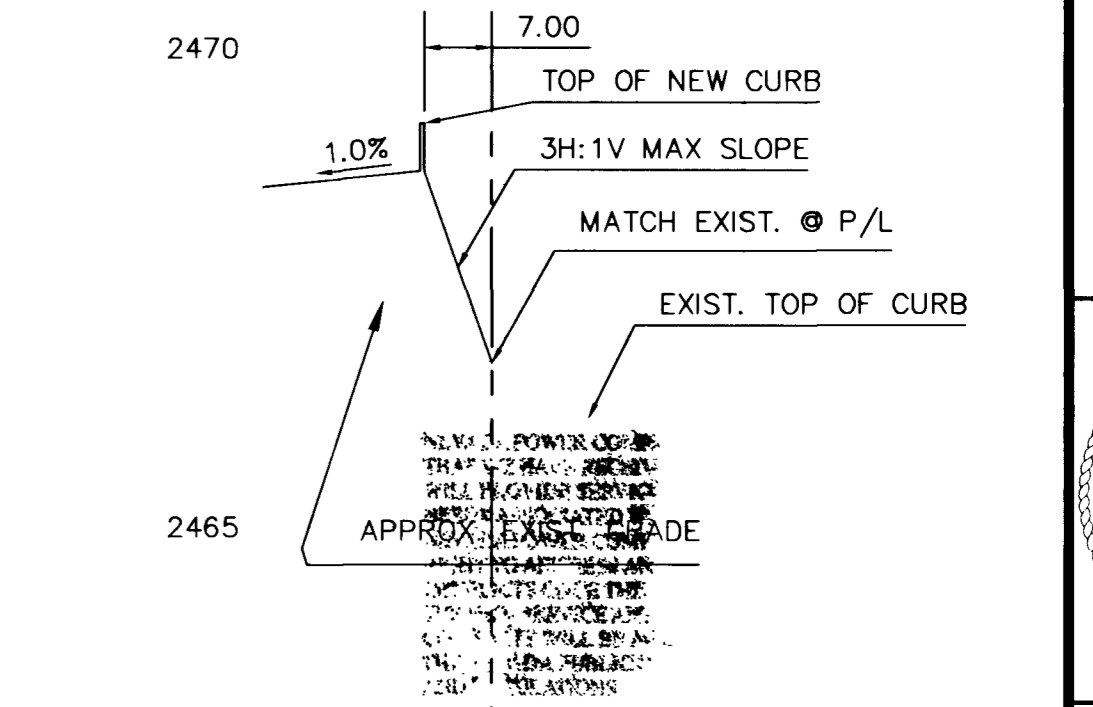
CRAIG A. PRIMAS P.E. 6638 DATE



PROPERTY LINE SECTION 1



PROPERTY LINE SECTION 2



PROPERTY LINE SECTION 3

DISCLAIMER NOTE
 Call before you Dig
 Call before you Overhead
 UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.

PRIMAS AND ASSOCIATES CONSULTING ENGINEERS
 1091 SOUTH CHAMARRON RD. STE A-4 LAS VEGAS, NEVADA 89145
 (702) 238-8183 FAX (702) 238-8184
 NO. REVISIONS
 BY DATE APPR.
 SCALE (H): 1"=20'
 SCALE (V): N/A
 DRAWN: JG
 DESIGN: JG
 CHECKED: JG
 DATE: 12/09/03
 SDT PROPERTIES
 SUN AUTO SERVICE
 GRADING PLAN
 SHEET C4 OF 4
 091.01001
 CLV DRAWING # 1013886
 RECOMMENDED BY: [Signature]
 CRAIG A. PRIMAS, P.E.
 R.P.E. NO. 6638

F:\PROJECTS\091_SunDevil\Auto\CAD\Construction Drawings\091\GRADING.dwg 02/13/2003 04:11:42 PM PST