

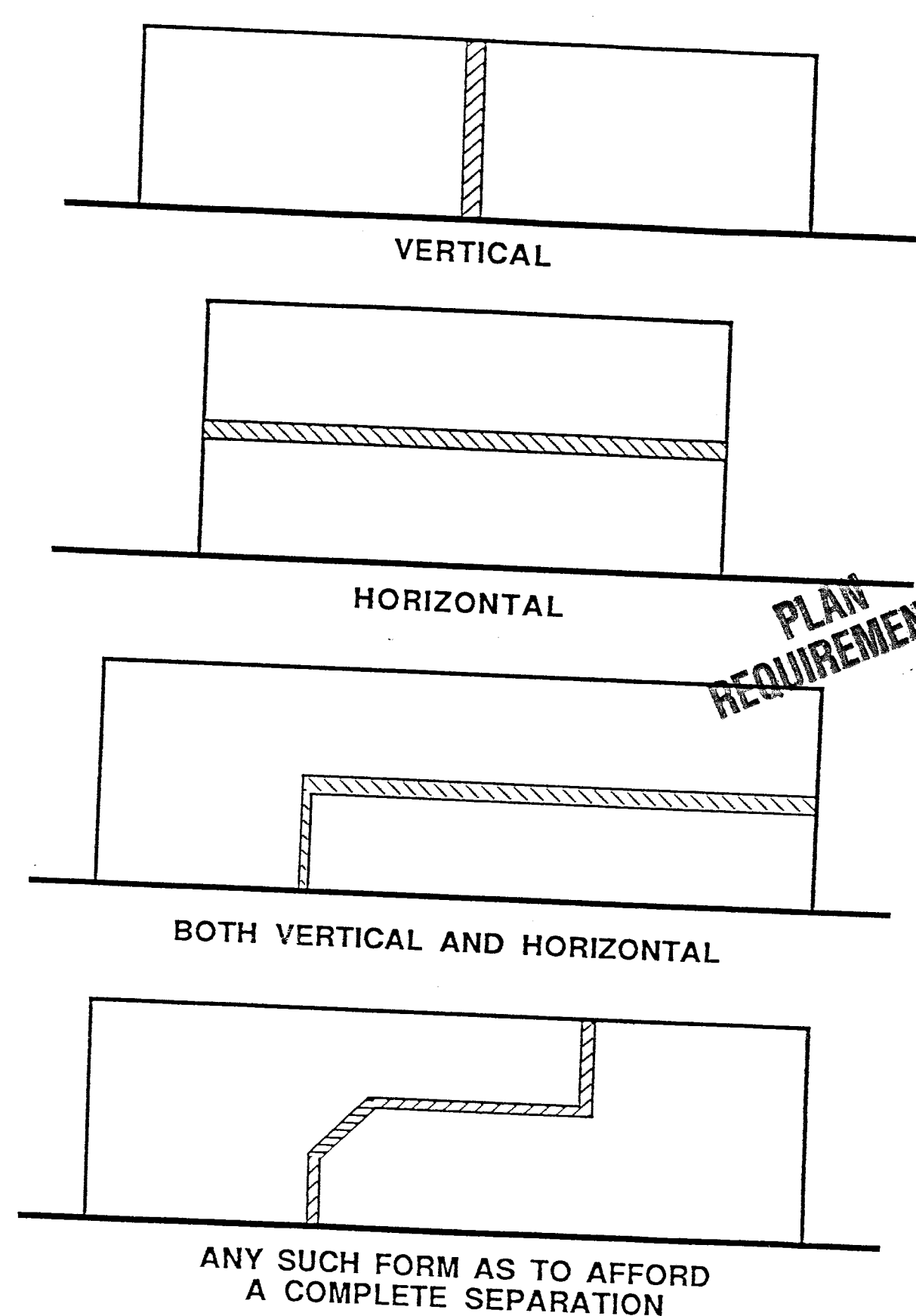
TYPE OF OCCUPANCY SEPARATION	MINIMUM FIRE-RESISTIVE CONSTRUCTION	MINIMUM OPENING PROTECTION	AMOUNT OF OPENING PROTECTION
FOUR-HOUR FIRE-RESISTIVE	FOUR-HOUR	NO OPENINGS PERMITTED	NO OPENINGS PERMITTED
THREE-HOUR FIRE-RESISTIVE	THREE-HOUR	THREE-HOUR ¹	MAXIMUM 25% OF WALL LENGTH AND MAXIMUM 120 SQ. FT./OPENING ¹
TWO-HOUR FIRE-RESISTIVE	TWO-HOUR	ONE AND ONE-HALF-HOUR	UNLIMITED
ONE-HOUR FIRE-RESISTIVE	ONE-HOUR	ONE-HOUR	UNLIMITED

¹ Applies only to openings in walls. All openings in floors shall be protected by vertical enclosures extending above and below such openings. The walls of such vertical enclosures shall be of not less than two-hour fire-resistive construction and all openings therein shall be protected by a fire assembly having a one and one-half-hour fire-protection rating. See exception for use of a three-hour enclosure below the occupancy separation and a one-hour enclosure above the separation.

PLAN REQUIREMENTS

TYPES OF OCCUPANCY SEPARATIONS
Section 302.3

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FORMS OF OCCUPANCY SEPARATIONS
Section 302.2

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ENERGY SCHEDULE

Builder: Summerlin Arbors Park Pool Permit No. _____ Date: 3/26/99

Total Conditioned Floor Area: 5390 s.f. Construction Type: _____

PLAN REQUIREMENTS

Insulation Component	Type	R-Value	Location
Roof/Ceiling	Rigid	R-28.8	Roof
Wall 1	CMU W/ Rigid	R-7.5	Exterior wall cavity excluding Entry/Foyer 101
Wall 2	Frame W/ Batt	R-19	Exterior wall cavity at Entry/Foyer 101
Wall 3	CMU W/ No Insul.	-	Exterior wall cavity at Storage 112
Floor			
Other	H.M. Door	R-1.7	Exterior wall cavity

Fenestration Component	Type	Frame	Area	U-Value	Shading Coefficient
Window 1	Fixed	Aluminum	595 s.f.	0.63	0.21
Window					
Skylight 1	Reflective/Insul.	Aluminum	216 s.f.	0.63	0.21
Skylight 2	White Plastic	N/A	216 s.f.	0.50	0.40
Door (Patio)					
Door (French)					
Class Block	Window 2(Clear)	N/A	219 s.f.	0.51	0.65
Greenhouse					

Equipment	Water Heater
Furnace AFUE:	80%
A/C SEER:	10
HVAC Duct Insul.:	R-6
	Size: (2) 100 Gallon
	EF: 80%
	R-12 Wrap: N/A

20 July 2000

John Carson
Architectural Plans Examiner
CITY OF LAS VEGAS
BUILDING and SAFETY
731 South 4th Street
Las Vegas, Nevada 89101

Re: Application Number: C-0018-98
Summerlin Sports Park - New Pool and Pool Building
LGA Project Number: 98035.00



560 PLEASANT BLVD.
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LAS VEGAS, NEVADA
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SCOTT A. CARTER, AIA
PROJECT MANAGER

John:

This letter is in response to your Plans Review Correction Letter dated 5/10/00. My comments will correspond with the numbers in your letter.

- The building will be Type V-One Hour, as noted on revised Sheet G1.01. The assemblies used are shown on revised Sheet A4.02.
- See comment #1 above.
- See comment #1 above.
- The toilet fixture count has included what is expected for the future intended use, however if there are any modifications when the pool is enclosed, then additional fixtures will be added at that time.

Please feel free to contact me with any comments or questions you may have.

Sincerely,
LUCCHESI, GALATI ARCHITECTS, Inc.

Scott A. Carter, AIA
Project Manager

/sac

PLAN REQUIREMENTS

BUILDING AND SAFETY
Development Services Center
Permits and Inspections
Plans Examination Division
CITY OF LAS VEGAS

731 S. Fourth Street, Las Vegas, Nevada 89101 TEL: (702) 229-6251 FAX: (702) 474-7369

Date: May 10, 2000
To: Lucchesi Galati Architects
FAX #: 263-8111
From: John Carson, Architectural Plans Examiner

CLV Project #: C-18-98
Description: New Pool and Pool Building
Reviewed under the 1997 Uniform Building Code
Reviewed for accessibility per CABO/ANSI A117.1-1992 PAGE ONE OF TWO

Note: PLEASE PROVIDE A WRITTEN RESPONSE IN LETTER FORM TO THIS PLANS REVIEW CORRECTION LETTER AND ANSWER EACH ITEM WITH A COMMENT. THIS WILL HELP ME UNDERSTAND YOUR POINT OF VIEW AND INTERPRET AND LOCATE THE CORRECTIONS AS YOU HAVE INTENDED. IF YOU NEED TO DISCUSS THE ITEMS LISTED OR DISAGREE WITH THE PLANS EXAMINER'S INTERPRETATION OF THE CODE, PLEASE CALL 1-702-229-4760 JOHN CARSON. I WILL ASSIST YOU THE BEST I CAN.

Note: Your re-submittal shall include two copies of any documents you plan to submit as a response to this correction letter.

1. Per our phone discussion on May 9th the Type of Construction for this building will be Type 11-One Hour since this building will be expanded in the near future. Provide listed assemblies for each part of the fire resistive building element as required in UBC Table 6-A. The plans shall contain a 100% photo copy of each type of listed assembly taken from the publication that contains the approved listing. Per our discussion a fire sprinkler system cannot be used to substitute for the one hour construction as allowed per UBC Section 508, since the sprinklers are already required per our 1997 SNBC Amendment.

2. Provide a new code analysis showing the maximum allowable area for an A2.1, single story building, yards open on four sides and a fully sprinkled building.

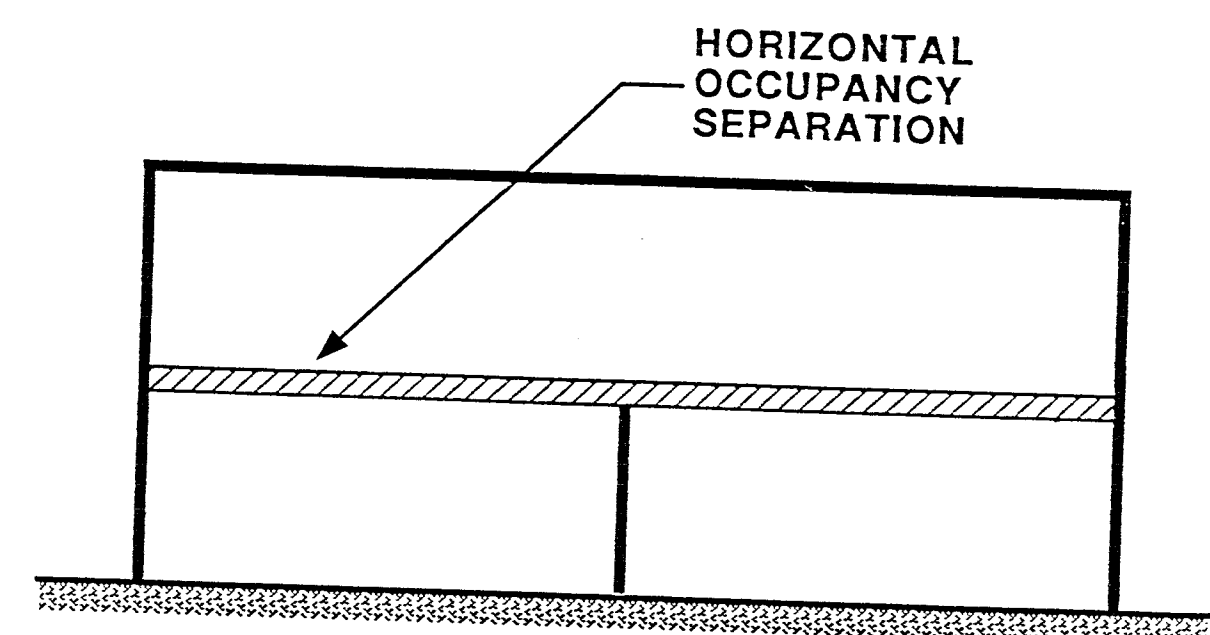
3. Within this new code analysis show that an approved fire alarm system will be installed as required per UBC Section 303.9 since this building is not being classified as a mixed occupancy but is being classified as a Group A2.1.

4. I assume you did a toilet room fixture count as required per UBC Appendix Table A-29-A for an assembly occupancy, since later, when you build the addition, our department will require fixtures for the entire building calculated as an assembly occupancy. Also, I assume you included the pool, pool building, and pool deck area within the fixture count for the required number of plumbing fixtures. Please provide a fixture analysis that shows the number of toilet room fixtures will be sufficient for the pool area, pool deck area, pool building and future pool cover. It may be that you have decided to add more fixtures after the pool cover is built, which is acceptable of course.

General Notes:

PLAN REQUIREMENTS

STRUCTURAL SUPPORT OF
HORIZONTAL OCCUPANCY SEPARATIONS



SUPPORTING MEMBERS, SUCH AS COLUMNS AND BEARING WALLS, SHALL BE PROTECTED BY EQUIVALENT FIRE-RESISTIVE CONSTRUCTION

PLAN REQUIREMENTS

FORMS OF OCCUPANCY SEPARATIONS
Section 302.2

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