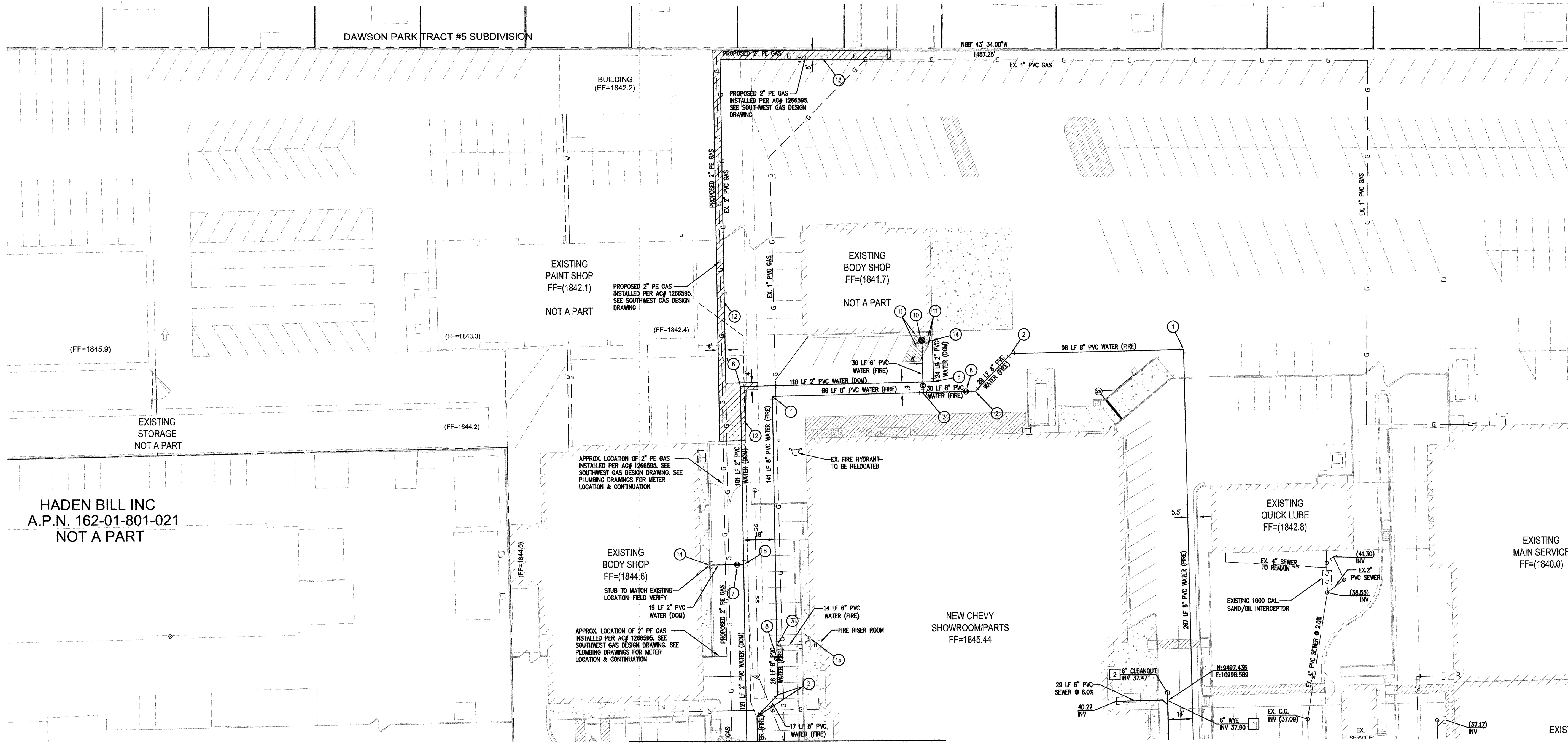




HADEN BILL INC
A.P.N. 162-01-801-021
NOT A PART

EXISTING PAINT SHOP
FF=(1842.1)
NOT A PART

EXISTING BODY SHOP
FF=(1841.7)
NOT A PART

EXISTING QUICK LUBE
FF=(1842.8)

EXISTING MAIN SERVICE
FF=(1840.0)

NEW CHEVY
SHOWROOM/PARTS
FF=1845.44

SEE SHEET UT2 FOR CONTINUATION

SEE SHEET UT2 FOR CONTINUATION

WATER CONSTRUCTION NOTES:

1. INSTALL 8" 90° BEND PER UDACS PLATE #31
2. INSTALL 8" 45° BEND PER UDACS PLATE #31
3. INSTALL 8" TEE PER UDACS PLATE #31
4. INSTALL 8" TEE PER UDACS PLATE #31
5. INSTALL 2" TEE
6. INSTALL 2" 90° BEND
7. INSTALL 2" GATE VALVE
8. INSTALL 8" GATE VALVE PER UDACS PLATE #30 & #39
9. INSTALL FIRE HYDRANT PER UDACS PLATE #40
10. RELOCATED FIRE HYDRANT, INSTALLED PER UDACS PLATE #40
11. RELOCATED VEHICLE PROTECTION BOLLARD INSTALLED PER UDACS PLATE #75
12. UTILITY TRENCH PER UDACS PLATE #17
13. PROVIDE WATER/SEWER CROSSING CLEARANCE PER UDACS 2.22.02.B.1
14. NEW WATER LATERAL TO MATCH EXISTING P.O.C.
15. INSTALL FIRE DEPARTMENT CONNECTION (FDC)
16. INSTALL 3" TEE
17. INSTALL 3"x2" REDUCER
18. INSTALL 3" 90° BEND

FIRE FLOW DATA - UFC APPENDIX III-A as amended

NEW CHEVY SHOWROOM/ EX. SERVICE WRITERS/CANOPY	
BUILDING HEIGHT	36'
OCCUPANCY CLASSIFICATION	B(SHOWROOM), S-2(PARTS)
CONSTRUCTION CLASSIFICATION	TYPE II-B
FLOOR AREA:	
SHOWROOM	19,294 SF
PARTS	41,129 SF
SERVICE WRITERS	1,500 SF
CANOPY	7,250 SF
TOTAL	69,235 SF
FLOORS	2
HIGH PILE STORAGE	NO
SPRINKLERED	YES
ESTIMATED FIRE FLOW	2750 GPM

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR CONSTRUCTION, A COMMITMENT TO SUPPLY WATER AND/OR SEWER SERVICE, OR AN APPROVAL OF ANY VIOLATION OF LIVING WATER AND/OR SEWER SERVICE RULES AND REGULATIONS OR DESIGN AND CONSTRUCTION STANDARDS.

SEWER CONSTRUCTION NOTES:

1. INSTALL 6" WYE CONNECTION PER DCSWCS SD-22
2. INSTALL 6" CLEAN OUT PER DCSWCS SD-26

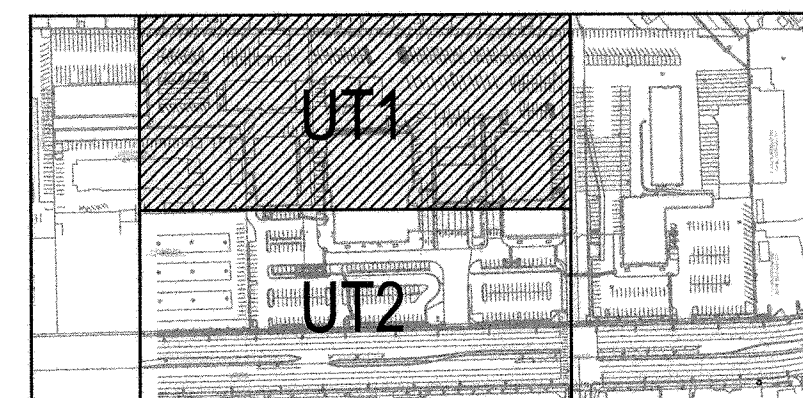
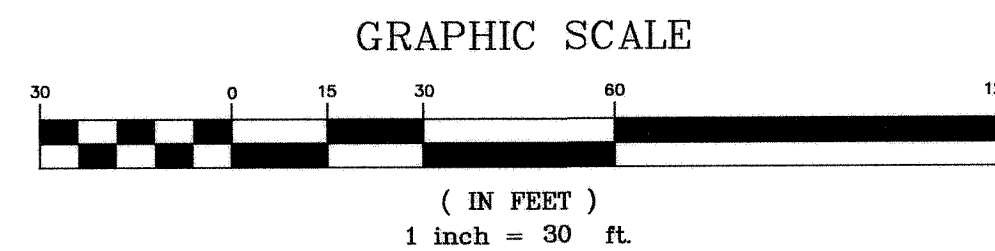
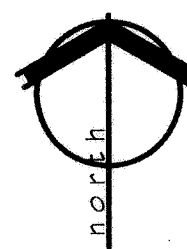
WASTEWATER FLOW CALCULATIONS

PROPOSED CHEVROLET SHOWROOM
CALCULATIONS
CLASSIFICATION: MOTOR VEHICLE SALES
28 FIXTURES= 18.2 ERU'S
(250 GAL/ERU) x 18.2 ERU'S
ERU'S= 4,550
AVERAGE FLOW (MGD)= 0.0455 MGD
PEAK FLOW (MGD)= .01547 MGD

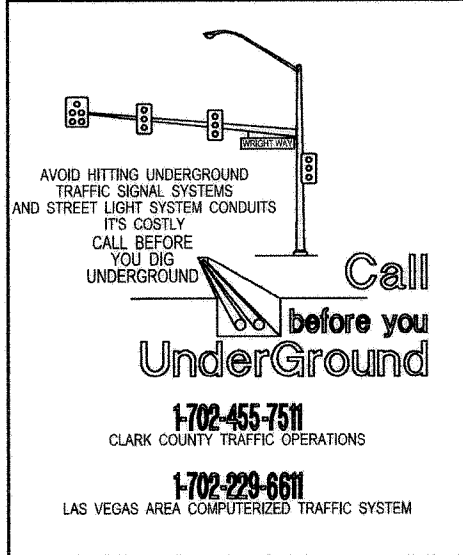
DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. ALL DISCREPANCIES MUST BE IMMEDIATELY REPORTED TO THE ENGINEER.
CALL BEFORE YOU DIG: 1-800-227-2800.

AVOID OVERHEAD POWER LINE CONTACT - IT'S COSTLY.
Call before you dig
Call before you dig
1-702-227-2800
1-800-227-2800
CLARK COUNTY TRAFFIC OPERATIONS
LAS VEGAS AREA COMPUTERIZED TRAFFIC SYSTEM
1-702-228-6611



KEY PLAN
SCALE: NONE



BASIS OF BEARING

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SOUTH LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 1, T. 21 E., R. 61 S., M.D.M. TAKEN AS N88°51'15"W AS SHOWN ON PARCEL MAP BOOK 114, PAGE 13, RECORDED IN THE OFFICIAL RECORDS OF CLARK COUNTY, NEVADA ON JUNE 14, 2007.

LEGAL DESCRIPTION

BEING LOT 1 OF PARCEL MAP BOOK 114, PAGE 13 LYING WITHIN A PORTION OF THE (SE 1/4) OF SECTION 1, TOWNSHIP 21 SOUTH, RANGE 61 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA.

BENCHMARK

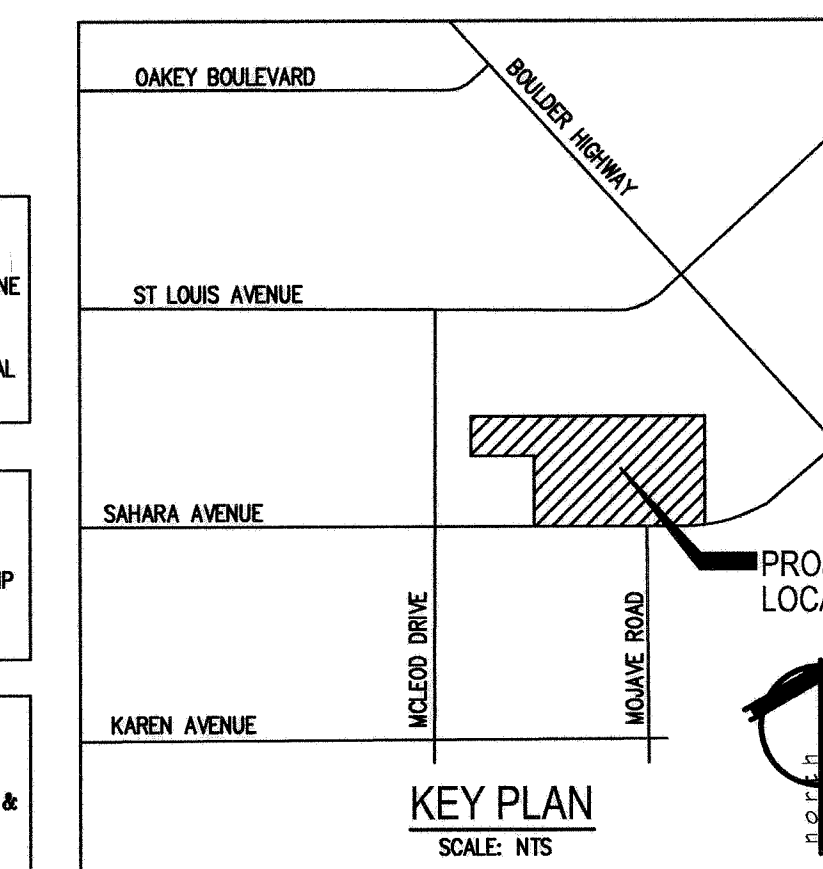
BEING CITY OF LAS VEGAS BENCHMARK 6C11154 A RIVET & PLATE IN TOP OF CURB @ NE CORNER OF SAHARA AVENUE & MCLEOD DRIVE, TAKEN AS ELEVATION 564.85750 (METERS), NAVD83 1853.20 FEET.

CITY OF LAS VEGAS FIRE
DEPARTMENT APPROVED

APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS. FIRE FLOW: 2750 GPM AT 20 P.S.I. RESIDUAL.

APPROVED FOR CONSTRUCTION

1/10/11
DATE
PROJECT #16582



KEY PLAN
SCALE: NTS

Chevrolet Showroom
Construction Documents
3100 East Sahara Avenue
Las Vegas, Nevada 89104

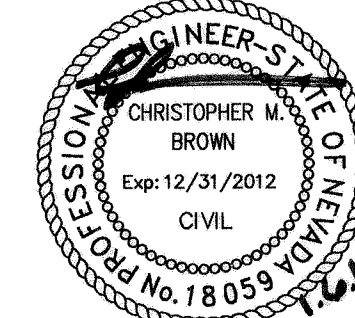
APTUS

1200 South 4th Street
Suite 206
Las Vegas, Nevada 89104
P 702.839.1200
F 702.839.1213

APTUS PROJECT NO. 10.069

ARCHITECT

ENGINEER



NOTES

COPYRIGHT 2011 © BY APTUS

NO. DESCRIPTION DATE

ISSUED

TITLE
**UTILITY
PLAN I**

107V 5521-SHD
DRAWING NO.

UT1
SHEET 8 OF 14