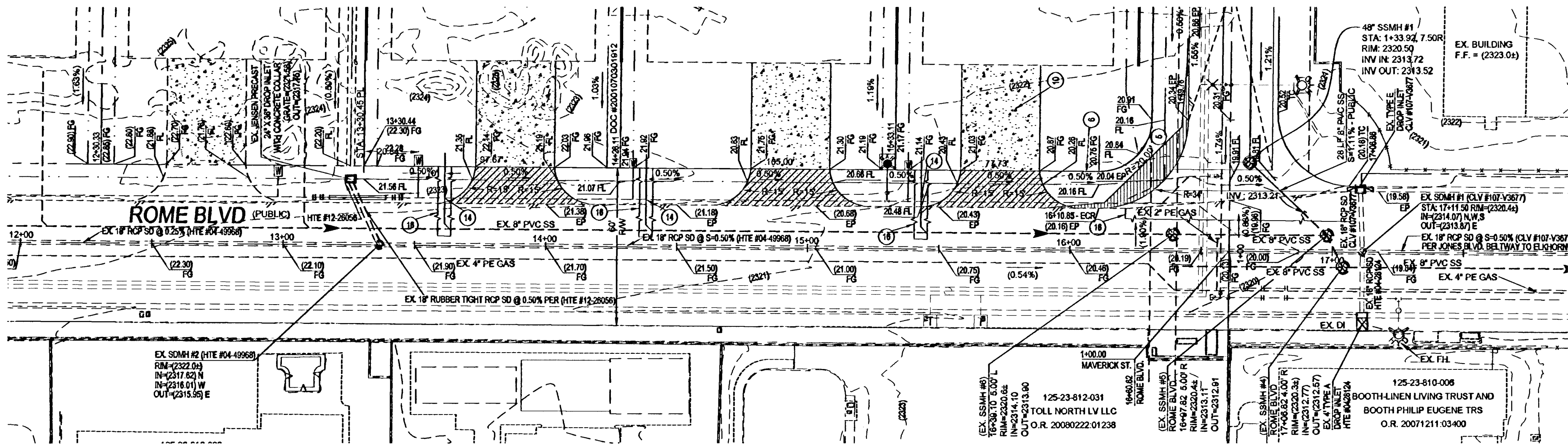
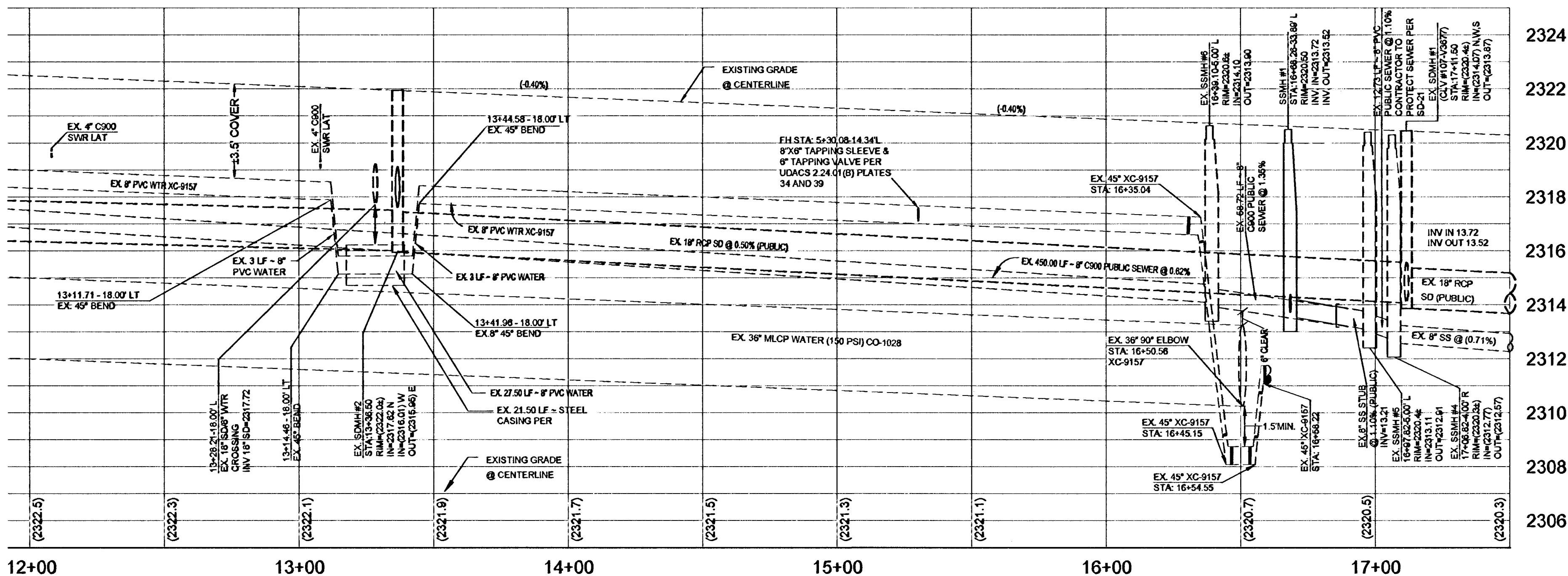


MAVERICK STREET



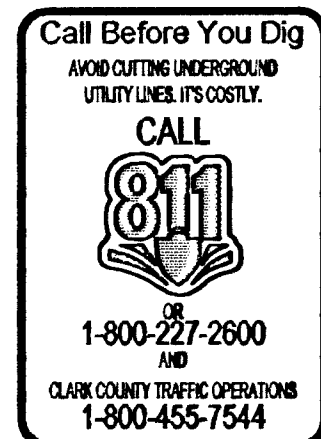
ROME BOULEVARD - PLAN

SCALE: 1"=30'



ROME BOULEVARD - PROFILE

SCALE: 1"=30' HORIZ, 1"=3' VERT.



LEGEND

	EXISTING (10.00)	PROPOSED (10.00)
DESIGN ELEVATION		
FUTURE ELEVATION		
SCARP (SLOPE VARIES)		
CONTOUR (1' INTERVAL)		
CONTOUR (5' INTERVAL)		
DIRECTION OF FLOW		
RETAINING WALL		
CMU WALL		
CUT-OFF WALL		
CENTERLINE		
RIGHT-OF-WAY		
CUT LINE ASPHALT		
CURB AND GUTTER		
CHAIN LINK FENCE		
POWER POLE		
SIDEWALK RAMP		
CURB DROP INLET		
STORM DRAIN W/MANHOLE		
SIDEWALK		
PROPERTY LINE		
CUT-FILL LINE		
EDGE OF PAVEMENT		
SIGHT VISIBILITY ZONE		
CAP & 2" BLOW OFF VALVE		
WATERLINE FITTINGS		
GATE VALVE		
FIRE HYDRANT		
SEWER LINE W/MANHOLE		
SEWER LATERAL		
WATER LINE		
WATER LATERAL W/METER		

UTILITY DISCLAIMER NOTE

EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS. CALL BEFORE YOU DIG: 1-800-227-2600 CALL BEFORE YOU OVERHEAD: 1-702-227-2929

D R HORTON
330 CAROUSEL PKWY
HENDERSON, NV 89011
(702) 555-5600 FAX: (800) 846-4601

TANEY ENGINEERING
800 S. JONES BLVD. STE 100
LAS VEGAS, NV 89118
(702) 362-8844 FAX: (702) 362-5233

ROME AND MAVERICK
EAST
A RESIDENTIAL SUBDIVISION

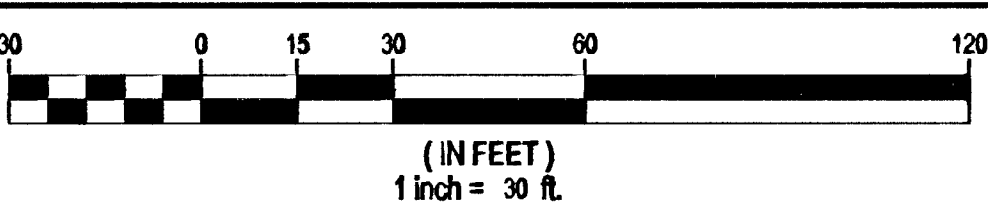
PLAN AND PROFILE II
ROME BOULEVARD

GEOTECHNICAL

AMERICAN SOILS ENGINEER LLC
6000 S. EASTERN AVE, SUITE 68
LAS VEGAS, NEVADA 89119
702-889-9617

REPORT NO: 1565-GE0
DATE 04/04/2012

SCALE



GRADING NOTES

COMPLETION OF SECTION II OF DRAINAGE COMPLIANCE REPORT REQUIRED.
ADD 2300 FEET TO ALL GRADE TAGS TO GET ACTUAL ELEVATION.
ALL PRIVATE STREETS AND DRAINAGE EASEMENTS ARE TO BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION (H.O.A.).
ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENTS HAVE BEEN OBTAINED FROM THE OFF-SITE OWNER AND GIVEN TO CLARK COUNTY.
CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES

- 3" AC PAVEMENT OVER 10.5" TYPE II
- 2" AC PAVEMENT OVER 9" TYPE II
- EXISTING WALL TO BE REMOVED.
- EXISTING "NO TRESPASSING" SIGN TO BE REMOVED.
- PROVIDE 1 FOOT "A" CURB OPENING AT SWALE PER DETAIL K101.
- INSTALL 6" HIGH "A" TYPE CURB ON FRONT PROPERTY LINE. NOTE: CURB TO BE CONSTRUCTED WITH HOME TO ENSURE OPENINGS FOR DRIVEWAYS.
- EXISTING TELEPHONE BOX TO BE ADJUSTED TO GRADE.
- EXISTING CABLE TV BOX TO BE RELOCATED OUT OF RIGHT-OF-WAY AND ADJUSTED TO GRADE.
- EXISTING FACILITIES TO REMAIN.
- DRIVEWAY APRON TO BE CONSTRUCTED WITH HOME TO ENSURE PROPER LOCATION.
- PROVIDE DECORATIVE WALL OPENING IN CMU WALL FOR DRAINAGE PER DETAIL L01.
- CONSTRUCT 3 VALLEY GUTTER PER DETAIL L01.
- INSTALL DECORATIVE 3" LANDSCAPE ROCK 6" THICK
- SEE PROFILE VIEW FOR SEWER LATERAL SIZE, STATONING, INVERT AND VERTICAL SEPARATION.
- SOLID GROUT CMU WALL MIN. 3 COURSES ABOVE FG.
- SAW-CUT AND MATCH EX. AC PAVEMENT PER CAUSAD #500.5 & 503
- SEE PROFILE VIEW FOR EXISTING MANHOLE STATONING AND VERTICAL INFORMATION.

BASIS OF BEARINGS

SOUTH 00 3927' WEST BEING THE WEST LINE OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 90 EAST, M.D.B. & M.

LEGAL DESCRIPTION

THE EAST HALF (E 1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 23, TOWNSHIP 19 SOUTH, RANGE 90 EAST, M.D.B. & M.

EXCEPTING THEREFROM THE NORTH 30 (30) FEET, THE EAST THIRTY (30) FEET, AND THE SOUTH THIRTY (30) FEET, AS CONVEYED FOR ROADS AND INCIDENTAL PURPOSES IN THOSE DEEDS RECORDED FEBRUARY 7, 1973 AS DOCUMENT NO. 239043, IN BOOK 300, AND RECORDED FEBRUARY 23, 2007 AS DOCUMENT 04746, IN BOOK 20070223, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

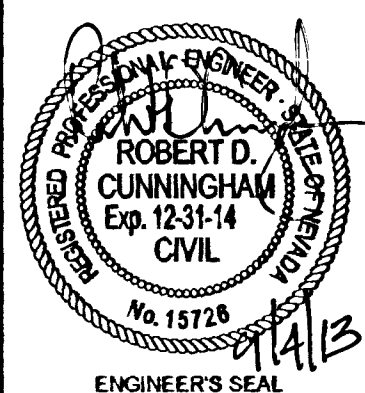
TOGETHER WITH THOSE PORTIONS OF SAID LAND VACATED BY THOSE CERTAIN ORDERS OF VACATION RECORDED NOVEMBER 07, 1991 IN BOOK 911107 AS DOCUMENT NO. 00662, AND RECORDED FEBRUARY 28, 2007 IN BOOK 20070228 AS DOCUMENT NO. 04812, OFFICIAL RECORDS, CLARK COUNTY, NEVADA.

BENCHMARK

CLARK COUNTY STATION OL90 2356
ELEVATION 708.755 METERS 2,325.31 FEET
CITY OF LAS VEGAS RIVET AND ROUND PLATE IN CONCRETE CYLINDER, TORREY PINES DR. AND ROME BLVD. (NAVD 88)

CLARK COUNTY
DEPARTMENT OF PUBLIC WORKS
DEVELOPMENT REVIEW
ACCEPTANCE OF PLANS FOR FILING

BY: CLARK COUNTY DEPARTMENT OF DEVELOPMENT SERVICES DATE: 9/12/13
ACCEPTANCE OF THESE PLANS FOR FILING SHALL NOT BE CONSTRUED TO BE A PERMIT FOR OR AN APPROVAL OF ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS AND/OR SPECIFICATIONS. CLARK COUNTY SHALL BE HELD FREE FROM DAMAGES WHICH MAY RESULT FROM THE CONSTRUCTION OF THE IMPROVEMENTS FROM THE ENGINEERING DESIGN DEPICTED HEREIN.
NOTE: POWER POLES AND/OR OTHER EXISTING FACILITIES NOT IN PROPER LOCATION BASED ON PROPOSED IMPROVEMENTS SHOWN HEREON WILL BE RELOCATED AT NO EXPENSE TO CLARK COUNTY.
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
(PROJ # 121434)



DATE: 8/30/2013
SCALE: 1"=30'
JOB NO: DRH-12-037
DESIGNED BY: CH
CHECKED BY: RC
SHEET NAME: PP2
SHEET: 8 OF 12
H#47824
307V1071
CC HTE #1249141