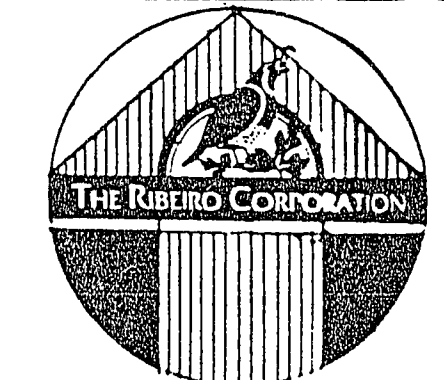
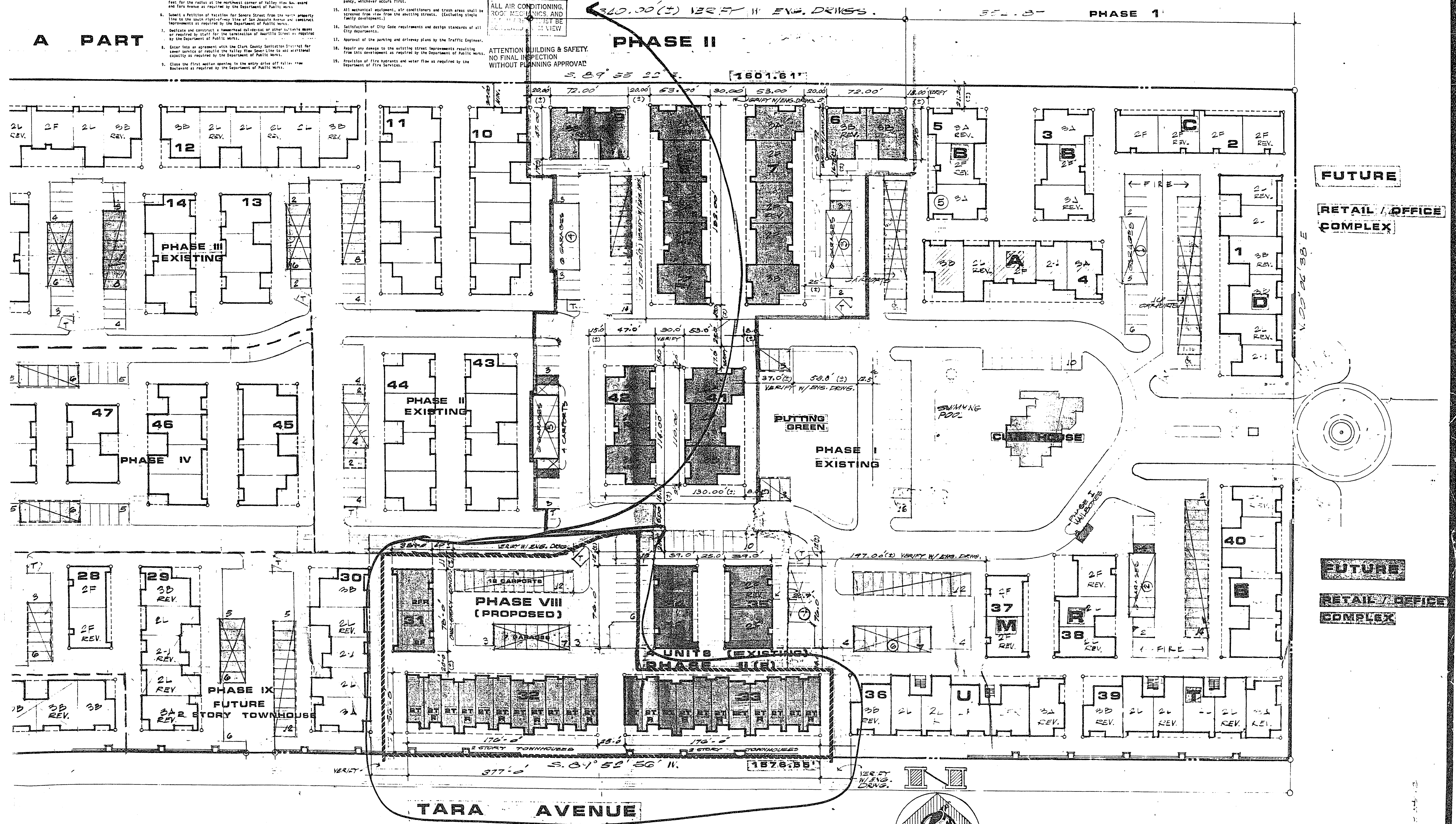


- RE: RECLASSIFICATION OF PROPERTY
2-18-87
1. Resolution of intent with a twelve (12) month time limit.
 2. The City portion of the application be amended to P-R and the R-PD2 portion be amended to R-PD10.
 3. All buildings shall be limited to a maximum height of one-story except for the new buildings adjacent to Tara Avenue which may be two-story.
 4. The Covenants, Conditions and Restrictions shall contain a requirement that the residents of each unit shall be 18 years of age or older and no permanent residents may be under the age of 18.
 5. Dedicate 30 feet of right-of-way for Tara Avenue and an additional five feet for the radius at the northeast corner of Valley View Blvd. and Tara Avenue as required by the Department of Public Works.
 6. Submit a Petition for Dedication for Tara Avenue and an additional five feet for the radius at the northeast corner of Valley View Blvd. and Tara Avenue as required by the Department of Public Works.
 7. Dedicate and construct a hammerhead cul-de-sac or other suitable means or required by staff for the termination of Pacific Street as required by the Department of Public Works.
 8. Enter into an agreement with the Clark County Sanitation District for sewer service or require the utility flow sewer line to be installed within capacity as required by the Department of Public Works.
 9. Close the first median opening in the entry drive off Valley View Boulevard as required by the Department of Public Works.
 10. Construct a six foot block wall along the north and west property lines.
 11. Submit a detailed plot plan and elevations for the commercial area for Planning Commission approval prior to development.
 12. Conformance to the plot plan and elevations.
 13. Landscaping and a permanent underground sprinkler system shall be provided as required by the Planning Commission and shall be properly maintained in a satisfactory manner. Failure to properly maintain required landscaping and underground sprinkler systems shall be cause for revocation of a business license.
 14. Submit a landscaping plan prior to or at the same time application is made for a building permit, license or prior to occupancy. Landscaping shall be maintained in a satisfactory manner.
 15. All mechanical equipment, air conditioning and train areas shall be screened from view from the abutting streets. (Excluding single family development.)
 16. Satisfaction of City Code requirements and design standards of all City departments.
 17. Approval of the parking and driveway plans by the Traffic Engineer.
 18. Repair any damage to the existing street improvements resulting from this development as required by the Department of Public Works.
 19. Provision of fire hydrants and water flow as required by the Department of Fire Services.

APPROVED
4-17-90
By: COMMUNITY PLANNING & DEVELOPMENT
City of Las Vegas
ALL AIR CONDITIONING, ROOF MECHANICALS, AND OTHER MECHANICALS MUST BE SCREENED FROM VIEW
ATTENTION BUILDING & SAFETY. NO FINAL INSPECTION WITHOUT PLANNING APPROVAL

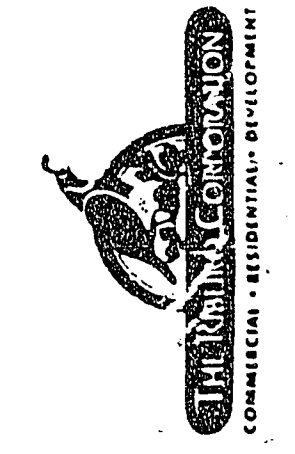


SITE PLAN

13-4-83 For I.R.S. 1074-4009-2

Quail Estates West

BUILDING : 31, 32 & 33
2851 So. Valley View Blvd. Las Vegas, Nevada 89102



195 E. RENO AVE.
LAS VEGAS, NV.
89119
1475 TERMINAL WAY
RENO, NV. 89502
Nevada Contractor 11632
California Contractor 23166
Arizona Contractor 05301007

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