

FINAL MAP OF OAK HILLS AT SUMMERLIN - PHASE 1

A PLANNED DEVELOPMENT AND COMMON INTEREST COMMUNITY
BEING A SUBDIVISION OF A PORTION OF LOT 11 IN BLOCK A OF "THE ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2B" AS SHOWN BY MAP THEREOF ON FILE IN BOOK 76, PAGE 92 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA, LYING WITHIN SECTIONS 24 AND 25, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

MATCH LINE - SEE SHEET 3 OF 4

LINE	BEARING	DISTANCE
L1	N04°34'17"E	28.91'

SCALE: 1" = 40'

LEGEND

- SET 5/8" REBAR AND ALCP STAMPED PLS 11174 W/ALUMINUM REFERENCE TIES IN TOP OF CURB
- ▲ SET 5/8" REBAR AND ALCP STAMPED PLS 11174
- LOCATION OF MONUMENT TO BE SET PER BOOK 74, PAGE 70 OF PLATS (UNLESS OTHERWISE NOTED)
- 9 LOT NUMBER
TOTAL RESIDENTIAL LOTS = 97
TOTAL COMMON LOTS = 4
- ① CURVE NUMBER
- L1 LINE SEGMENT NUMBER
- SUBDIVISION BOUNDARY LINE
- STREET CENTERLINE
- 4.00' WIDE STREETLIGHT EASEMENT
- ② BLOCK NUMBER
- S.F. SQUARE FEET
- S.V.R.E. SIGHT VISIBILITY RESTRICTION EASEMENT - NO VIEW OBSTRUCTION OVER 30° ABOVE TOP OF CURB WITHIN EASEMENT AREA

NOTE

FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 11174 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND ALCP STAMPED PLS 11174 WHERE THERE IS NO BLOCK WALL

LOCATION OF MONUMENT TO BE SET PER PAGE 76, PAGE 92 OF PLATS

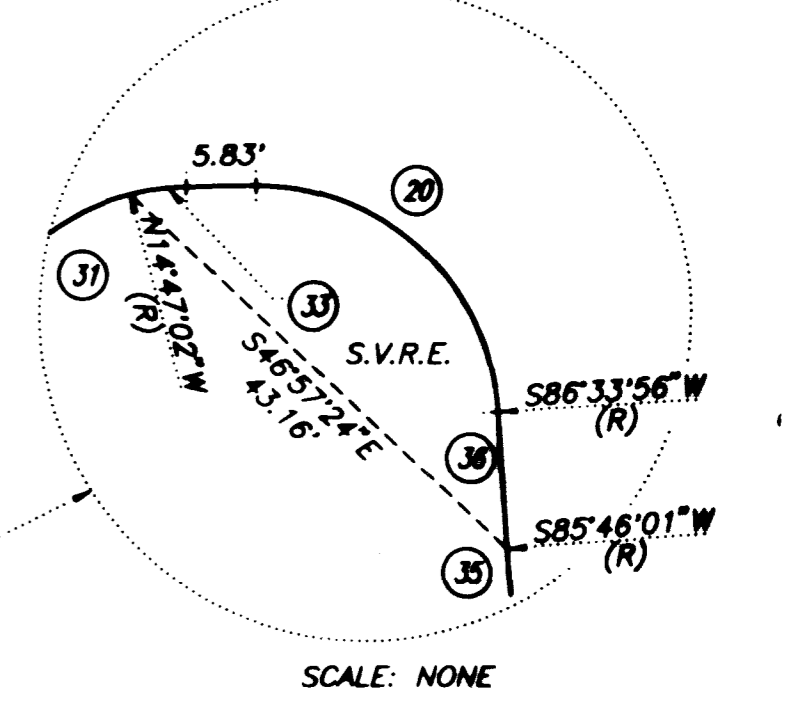
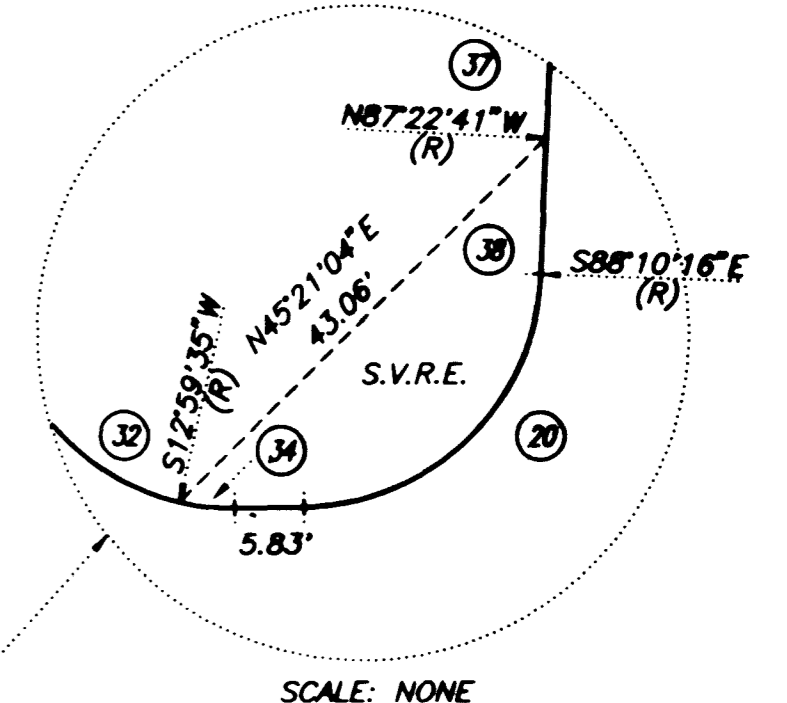
COMMON LOT "E" ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 2B PER BOOK 76, PAGE 92 OF PLATS

PUBLIC DRAINAGE EASEMENT W/ PRIVATE SURFACE MAINTENANCE GRANTED PER THIS PLAT

PUBLIC SEWER EASEMENT GRANTED PER THIS PLAT

NOTE

DIRECT VEHICULAR ACCESS TO LAURELGLLEN DRIVE FROM LOTS 9 THROUGH 17, INCLUSIVE, IN BLOCK 2 AND TO BANBURY CROSS DRIVE FROM LOTS 18 THROUGH 23, INCLUSIVE, IN BLOCK 2 THROUGH THE ABUTTING COMMON LOT IS PROHIBITED.



LOT 1 BLOCK A ARBORS AT SUMMERLIN VILLAGE 11/12 UNIT NO. 1A PER BOOK 74, PAGE 70 OF PLATS

CURVE	DELTA	RADIUS	LENGTH	TANGENT
1	36°48'30"	50.00'	32.10'	14.82'
2	35°12'21"	50.00'	30.75'	14.00'
3	77°14'21"	48.50'	48.38'	24.39'
4	77°14'21"	30.00'	20.22'	11.39'
5	13°30'44"	50.00'	18.77'	9.12'
6	25°50'11"	50.00'	19.33'	11.24'
7	18°11'24"	50.00'	14.61'	8.00'
8	07°31'21"	50.00'	10.82'	6.00'
9	4°28'29"	50.00'	8.00'	4.75'
10	28°12'21"	50.00'	18.69'	10.00'
11	7°44'11"	50.00'	11.91'	6.00'
12	30°58'21"	50.00'	26.09'	14.50'
13	31°18'50"	50.00'	24.10'	13.50'
14	11°18'50"	40.00'	11.91'	6.00'
15	23°50'21"	50.00'	18.68'	10.00'
16	30°42'11"	50.00'	24.04'	13.50'
17	11°11'21"	50.00'	17.82'	9.24'
18	12°42'36"	50.00'	16.64'	8.50'
19	80°34'21"	30.00'	30.20'	25.43'
20	87°22'36"	20.00'	30.20'	25.43'
21	80°34'21"	48.50'	68.20'	41.11'
22	01°03'46"	818.50'	15.18'	7.58'
23	11°48'40"	818.50'	168.71'	84.60'
24	09°04'07"	781.50'	123.60'	61.60'
25	1°02'58"	800.00'	183.21'	81.50'
26	35°33'39"	50.00'	31.03'	16.00'
27	09°04'07"	818.50'	129.83'	64.91'
28	34°08'18"	50.00'	29.79'	15.30'
29	03°13'58"	781.50'	44.10'	22.00'
30	00°03'27"	818.50'	1.30'	0.63'
31	36°43'21"	818.50'	12.50'	6.47'
32	36°54'27"	19.50'	12.66'	6.51'
33	13°58'52"	19.50'	4.78'	2.39'
34	13°47'45"	19.50'	4.70'	2.36'
35	00°15'52"	818.50'	3.78'	1.89'
36	00°47'55"	818.50'	11.41'	5.70'
37	06°29'10"	818.50'	92.66'	46.38'
38	00°47'35"	818.50'	11.33'	5.68'

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