

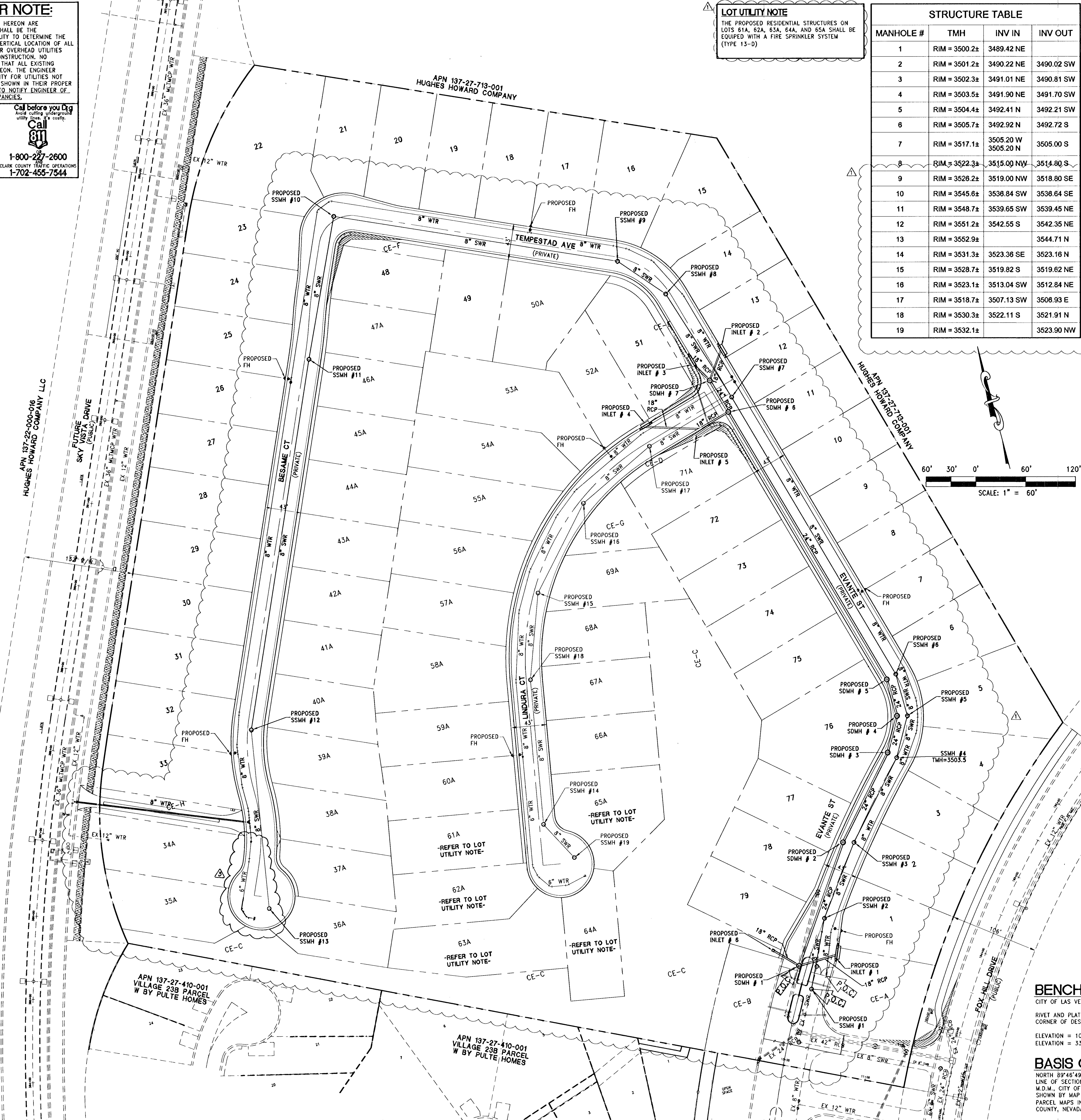
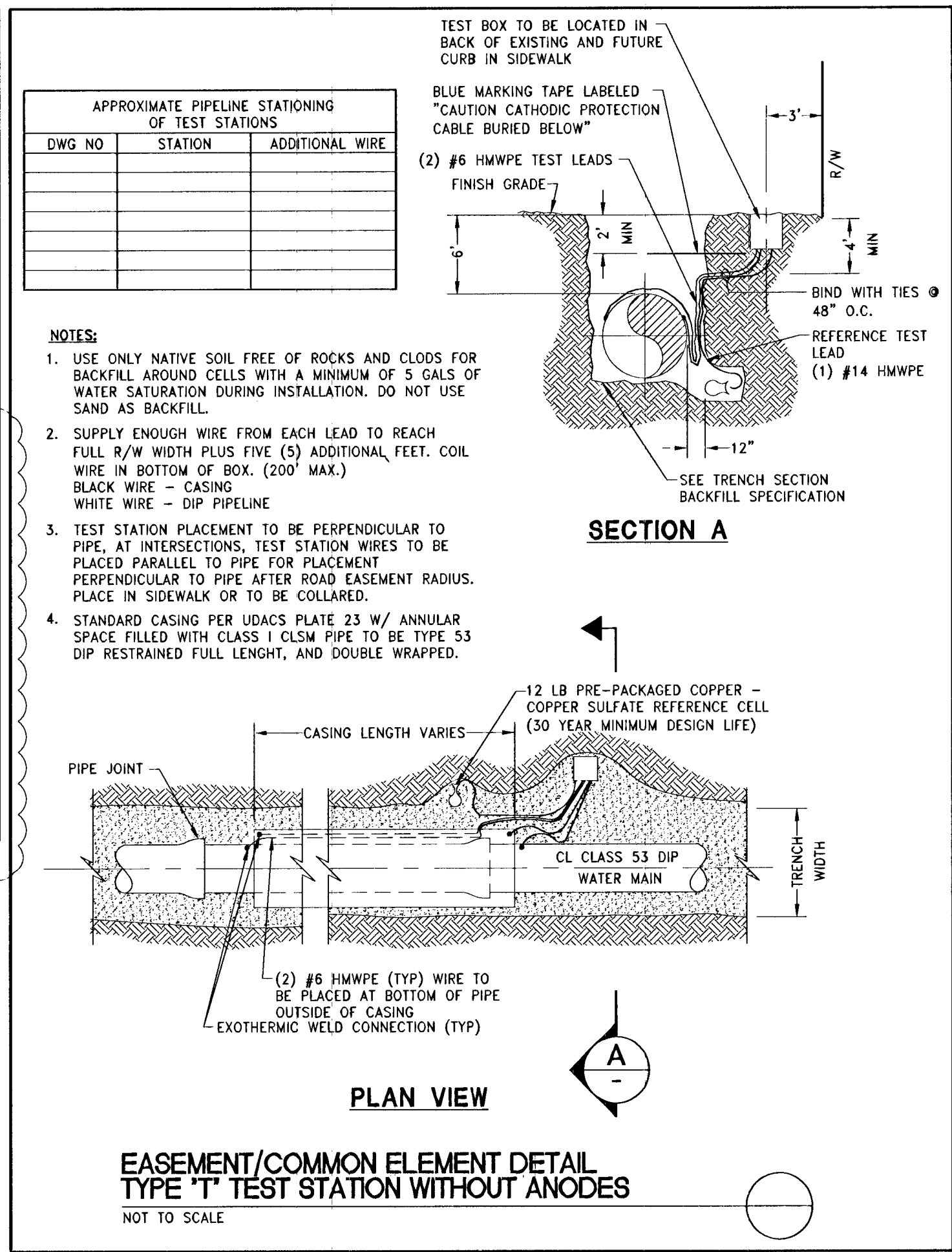
DISCLAIMER NOTE:
UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Call before you Dig
Avoid cutting underground utility lines. It's costly.
Call 811
CLARK COUNTY TRADING OPERATIONS
1-800-227-2600
1-702-455-7544

Call before you Overhead
1-702-227-2929
Nevada Power
Environment and Safety
Services Department

LOT UTILITY NOTE
THE PROPOSED RESIDENTIAL STRUCTURES ON LOTS 61A, 62A, 63A, 64A, AND 65A SHALL BE EQUIPPED WITH A FIRE SPRINKLER SYSTEM (TYPE 13-D)

STRUCTURE TABLE			
MANHOLE #	TMH	INV IN	INV OUT
1	RIM = 3500.2±	3489.42 NE	3490.02 SW
2	RIM = 3501.2±	3490.22 NE	3490.02 SW
3	RIM = 3502.3±	3491.01 NE	3490.81 SW
4	RIM = 3503.5±	3491.90 NE	3491.70 SW
5	RIM = 3504.4±	3492.41 N	3492.21 SW
6	RIM = 3505.7±	3492.92 N	3492.72 S
7	RIM = 3517.1±	3505.20 W	3505.00 S
8	RIM = 3522.3±	3515.00 NW	3514.80 S
9	RIM = 3528.2±	3519.00 NW	3518.80 SE
10	RIM = 3545.8±	3538.84 SW	3538.64 SE
11	RIM = 3548.7±	3539.65 SW	3539.45 NE
12	RIM = 3551.2±	3542.55 S	3542.35 NE
13	RIM = 3552.9±	3544.71 N	3544.51 NE
14	RIM = 3531.3±	3523.38 SE	3523.18 N
15	RIM = 3528.7±	3519.82 S	3519.62 NE
16	RIM = 3523.1±	3513.04 SW	3512.84 NE
17	RIM = 3518.7±	3507.13 SW	3506.93 E
18	RIM = 3530.3±	3522.11 S	3521.91 N
19	RIM = 3532.1±	3523.90 NW	3523.70 NE



COMMON ELEMENT/ EASEMENT REQUIREMENTS

- ISOLATION VALVES WILL BE REQUIRED AT THE POINT OF CONNECTION AND WITHIN 10' OF THE BACK OF CURB, WITH NO SERVICE CONNECTION BETWEEN THE VALVES.
- A CROSS SECTION OF THE EASEMENT MUST BE SHOWN ON THE PLANS WITH CURB/GUTTER, OR BLOCK WALL USED TO DELINEATE THE BOUNDARY OF EASEMENT.
- EASEMENT MUST BE A MINIMUM OF 30 FEET WIDE.
- PIPELINE MUST BE LOCATED A MINIMUM OF 10 FEET FROM THE EDGE OF THE EASEMENT.
- NO BUILDINGS, STRUCTURES, WALLS, FENCES OR TREES SHALL BE PLACED UPON, OVER OR UNDER SAID EASEMENT FOR THE DURATION OF THIS EASEMENT EXCEPT THAT SAID EASEMENT MAY BE IMPROVED AND USED FOR STREET, ROAD OR DRIVEWAY PURPOSES, TRAIL, PATH, PARKING LOT, PLAYGROUND, NON-VEHICULAR PUBLIC ACCESS, OR SHALLOW ROOT LANDSCAPING PURPOSES AND FOR OTHER UTILITIES, IN SO FAR AS SUCH USE DOES NOT INTERFERE WITH ITS USE BY THE DISTRICT FOR THE PURPOSES FOR WHICH IT IS GRANTED.
- PIPELINE MUST BE DOUBLE BAGGED.
- A STEEL SLEEVE WILL BE REQUIRED FOR THE ENTIRE LENGTH OF THE PIPELINE.
- PIPELINE MATERIAL MUST BE CLASS 53 DIP.
- PIPELINE MUST HAVE MECHANICAL JOINTS.
- PIPELINE MUST HAVE MINIMUM OF 6 FOOT DEPTH OF COVER.
- TRENCH BACKFILL MUST BE CLASS 1 CLSM.
- A SURFACE MAINTENANCE/REPAIR AGREEMENT WILL BE REQUIRED STATING THE DEVELOPER AGREES TO SURFACE RESTORATION/REPAIR AT SOLE COST, IN PERPETUITY.
- AT A MINIMUM, THE JOINTS MUST BE BONDED AND TEST STATIONS INSTALLED ON EACH END OF THE EASEMENT.
- FOR 16-INCH AND LARGER PIPELINES, A TEST PORT WILL BE REQUIRED TO FACILITATE PIPELINE CONDITION ASSESSMENT.
- THE FINAL MAP MUST DEDICATE THE SUBJECT EASEMENT AREA AS A COMMON ELEMENT.
- CARSONITE OR BRASS MARKERS MUST BE USED TO DELINEATE THE LOCATION/ALIGNMENT OF THE PIPELINE WITHIN THE EASEMENT.

BENCHMARK
CITY OF LAS VEGAS BENCHMARK STATION 5LV09 34NE6
RIVET AND PLATE IN TOP OF CURB AT THE NORTHEAST CORNER OF DESSERT FOUNTAINS AND ALBA DRIVE.
ELEVATION = 1007.195 METERS (NAVD'88)
ELEVATION = 3304.45 US SURVEY FEET (NAVD'88)

BASIS OF BEARINGS
NORTH 89°46'49" EAST, BEING THE BEARING OF THE NORTH LINE OF SECTION 27, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN BY MAP THEREOF ON FILE IN FILE 91, PAGE 28 OF PARCEL MAPS IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

CITY OF LAS VEGAS FIRE DEPARTMENT APPROVAL

BY: *K. Smith* DATE: 9/14/14
APPROVAL OF THESE PLANS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR ANY APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE STATE OR COUNTY LAWS.
APPROVAL BY THE FIRE DEPARTMENT HAVING JURISDICTION IS REQUIRED PRIOR TO OBTAINING FINAL APPROVAL FROM THE LVWD.
FIRE FLOW 1,250 GPM AT 20 PSI RESIDUAL

APPROVED FOR CONSTRUCTION 1ST APPROVED ON 05/22/14

BY: *CHARLES J. DUNN*
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES MANAGER
DATE: 9/19/14 PROJECT#: 122465
LVWD APPROVED FIRE FLOW 1,250 GPM AT 20 PSI RESIDUAL

TOLL SOUTH LV, LLC
1140 TOWN CENTER DRIVE SUITE 250
PHOENIX, AZ 85004
PHONE: 702-243-8800 FAX: 702-243-9610

RCI Engineering
4325 Dean Martin Drive Suite 300 Las Vegas, NV 89103
PHONE: 702-453-0800 FAX: 702-453-0801

MONTECITO AT SUMMERLIN VILLAGE 23B PARCEL X A SINGLE FAMILY RESIDENTIAL SUBDIVISION

MASTER UTILITY PLAN

CITY OF LAS VEGAS

PROFESSIONAL ENGINEER
JOHN I. LAND
Exp. 12/31/2015
No. 16444
8/30/2014

MU-1
SHEET 13 OF 40
CLV DRAWING NUMBER 10744937
H# 53318