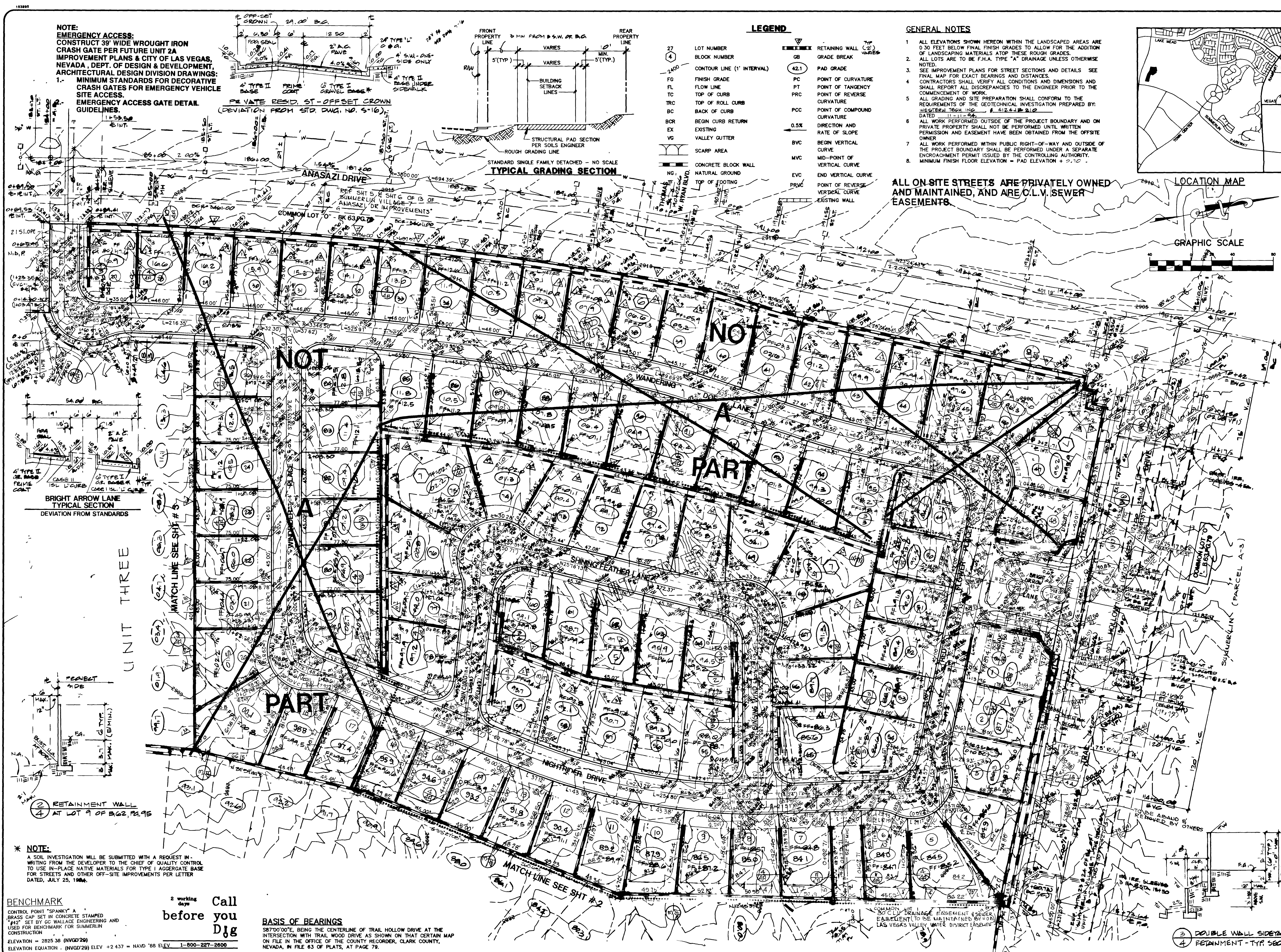




NOTE:
EMERGENCY ACCESS:
CONSTRUCT 39" WIDE WROUGHT IRON CRASH GATE PER FUTURE UNIT 2A IMPROVEMENT PLANS & CITY OF LAS VEGAS, NEVADA, DEPT. OF DESIGN & DEVELOPMENT, ARCHITECTURAL DESIGN DIVISION DRAWINGS. MINIMUM STANDARDS FOR DECORATIVE CRASH GATES FOR EMERGENCY VEHICLE SITE ACCESS. EMERGENCY ACCESS GATE DETAIL GUIDELINES.

PRIVATE RESID. ST-OFFSET CROWN
(DEVIATION FROM STD. DWG. NO. 5-16)

STANDARD SINGLE FAMILY DETACHED - NO SCALE
TYPICAL GRADING SECTION

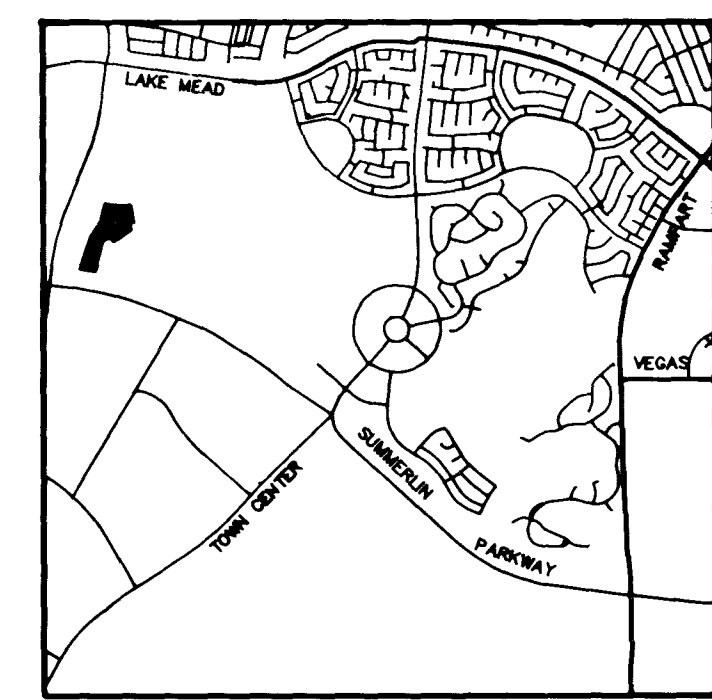
LEGEND

- 27 LOT NUMBER
- 40 BLOCK NUMBER
- FG FINISH GRADE
- FL FLOW LINE
- TC TOP OF CURB
- TRC TOP OF ROLL CURB
- BC BACK OF CURB
- BCR BEGIN CURB RETURN
- EX EXISTING
- VG VALLEY GUTTER
- SCARP AREA
- CONCRETE BLOCK WALL
- NG NATURAL GROUND
- TOP OF FOOTING
- RETAINING WALL (2')
- GB GRADE BREAK
- 42.1 PAD GRADE
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF REVERSE CURVATURE
- PCC POINT OF COMPOUND CURVATURE
- 0.5% DIRECTION AND RATE OF SLOPE
- BVC BEGIN VERTICAL CURVE
- MVC MID-POINT OF VERTICAL CURVE
- EVC END VERTICAL CURVE
- PRVC POINT OF REVERSE VERTICAL CURVE
- EXISTING WALL

GENERAL NOTES

1. ALL ELEVATIONS SHOWN HEREIN WITHIN THE LANDSCAPED AREAS ARE 0.30 FEET BELOW FINAL FINISH GRADES TO ALLOW FOR THE ADDITION OF LANDSCAPING MATERIALS ATOP THESE ROUGH GRADES.
2. ALL LOTS ARE TO BE F.H.A. TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
3. SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
4. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
5. ALL GRADING AND SITE PREPARATION SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY: JESSE BEN TESH, INC. # 412-418-2102 DATED 11-21-11.
6. ALL WORK PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAVE BEEN OBTAINED FROM THE OFFSITE OWNER.
7. ALL WORK PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND OUTSIDE OF THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
8. MINIMUM FINISH FLOOR ELEVATION = PAD ELEVATION + 2.10'

ALL ON-SITE STREETS ARE PRIVATELY OWNED AND MAINTAINED, AND ARE C.L.V. SEWER EASEMENTS.



GRAPHIC SCALE

**BRIGHT ARROW LANE
TYPICAL SECTION
DEVIATION FROM STANDARDS**

UNIT THREE

NOT

NOT

PART

PART

*** NOTE:**
A SOIL INVESTIGATION WILL BE SUBMITTED WITH A REQUEST IN WRITING FROM THE DEVELOPER TO THE CHIEF OF QUALITY CONTROL TO USE IN-PLACE NATIVE MATERIALS FOR TYPE I AGGREGATE BASE FOR STREETS AND OTHER OFF-SITE IMPROVEMENTS PER LETTER DATED, JULY 25, 1994.

BENCHMARK
CONTROL POINT "SPANKY" A
BRASS CAP SET IN CONCRETE STAMPED
"H2" SET BY GC WALLACE ENGINEERING AND
USED FOR BENCHMARK FOR SUMMERLIN
CONSTRUCTION
ELEVATION = 2825.38 (NVD 29)
ELEVATION EQUATION: (NVD 29) ELEV + 2.437 = NAVD 88 ELEV 1-800-227-2600

BASIS OF BEARINGS
S87°00'00"E, BEING THE CENTERLINE OF TRAIL HOLLOW DRIVE AT THE INTERSECTION WITH TRAIL WOOD DRIVE AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, IN FILE 63 OF PLATS, AT PAGE 78.

PLASTER DEVELOPMENT
CITY OF LAS VEGAS

ROUGH GRADING PLAN

INDIAN HILLS
UNIT 5

NO. 4820-5
BY JEM
DATE MAY, '95
SCALE 1" = 40'
SHEET 4 of 10 SHEETS

REVISION

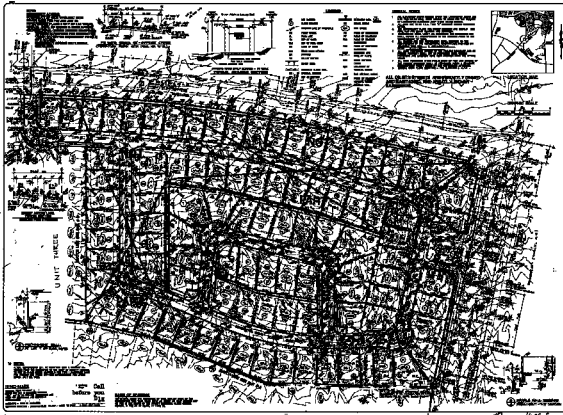
REV	DATE	BY	REVISION
1	12-6-95	H.A.	REV WALLS AT TRAIL HOLLOW DRIVE
2	2-28-96	H.A.	REV CURB SPANS ON BRIGHT ARROW LANE
3	3-23-96	H.A.	REVISE LOTS 1, 2 & 3 - UNIT 5

CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS
2727 SOUTH RAINBOW BOULEVARD
LAS VEGAS, NEVADA 89102-5148 PHONE (702) 875-7550 FAX (702) 362-2587

vtn nevada

REGISTERED PROFESSIONAL ENGINEER
JAMES A. THOMAS
CIVIL
No. 9705 WATER

5/30/95



PLANNING DEPARTMENT CITY OF LOS ANGELES 100 N. GARDEN STREET, 10TH FLOOR LOS ANGELES, CALIF. 90012	
PROJECT NO. 11-35-8 SHEET NO. 11-35-8-1	
PREPARED BY: [Signature] CHECKED BY: [Signature] DATE: 11-35-8	
11-35-8	