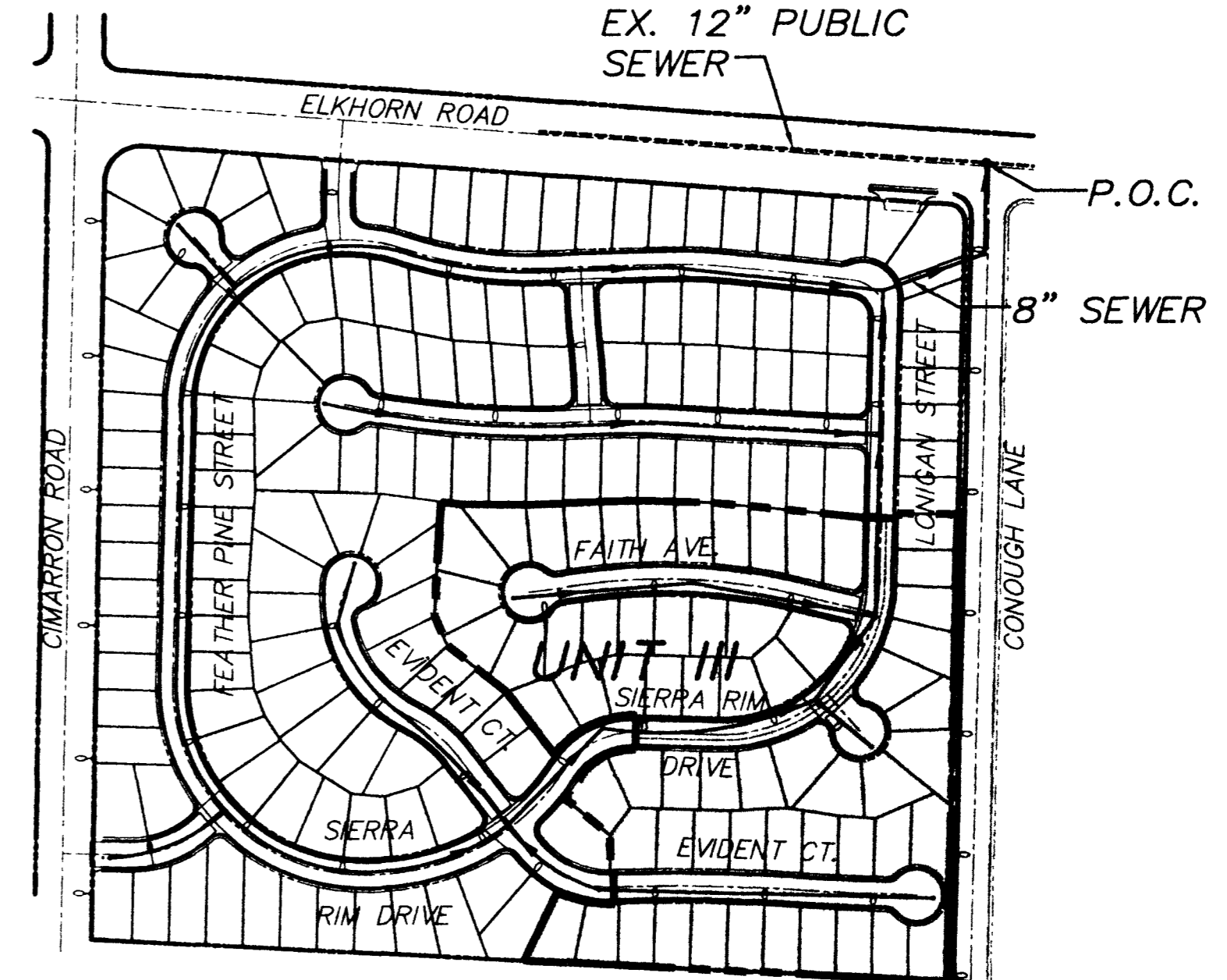


UNIT I  
UNIT III



NORTH  
GRAPHIC SCALE  
( IN FEET )  
1 inch = 60 ft



SEWER OUTFALL MAP  
NTS

PROPERTY LINE AND LIMIT OF CONSTRUCTION

**SEWER CONNECTION NOTE**

ONE OR MORE SEGMENTS OF THE DOWNSTREAM SEWER SYSTEM THAT WILL SERVE THIS PROJECT HAS NOT BEEN COMPLETED AND/OR ACCEPTED FOR MAINTENANCE BY THE CITY OF LAS VEGAS. ANY WORK DONE ON THIS PROJECT PRIOR TO THE COMPLETION AND/OR ACCEPTANCE OF THE DOWNSTREAM SEWER SYSTEM(S) SHALL BE DONE AT THE DEVELOPER'S OWN RISK. THE CITY OF LAS VEGAS RESERVES THE RIGHT TO PREVENT THE PHYSICAL CONNECTION OF THIS PROJECT INTO THE DOWNSTREAM SEWER SYSTEM UNTIL ALL SEGMENTS HAVE BEEN COMPLETED AND ACCEPTED FOR MAINTENANCE, OR UNTIL SUCH TIME AS THEY ARE DEEMED AVAILABLE FOR SERVICE.

**CONSTRUCTION NOTES:**

- (22) REMOVE CAP AND CONNECT TO EXISTING (SEWER)
- (30) CLOSE VALVE, REMOVE CAP AND CONNECT TO EX. WATER
- (92) STOP SIGN
- (93) NO. 3-1/2 PULL BOX
- (94) 100W HPS STREET LIGHT
- (95) 1-1/4" STREET LIGHT CONDUIT
- (96) REMOVE CAP AND CONNECT TO EXIST. 1/4" CONDUIT
- (97) STUB AND CAP 1/4" CONDUIT

**BENCH MARK**

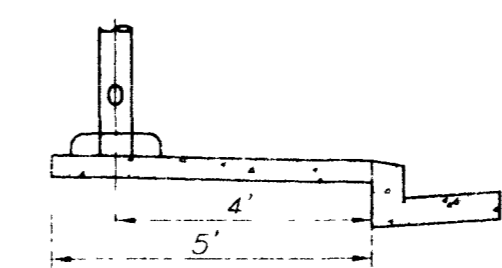
BM NO. 1LV9020NES: ALUMINUM TAG AT THE CENTERLINE INTERSECTION OF ELKHORN ROAD AND DURANADO DRIVE. ELEVATION = 2530.89 (NAVD88) = (NVD 29)+2.40' ELEVATION = 2528.49 USED AS PROJECT BENCHMARK

**BASIS OF BEARINGS**

WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 19 SOUTH, RANGE 60 EAST M.D.M. BEING N 00°20'00" E AS SHOWN BY MAP THEREOF ON P.L.E. N. P.L.E. 53, PAGE 40 OF SURVEYS IN THE CLARK COUNTY RECORDERS OFFICE

**STREET LIGHT NOTE**

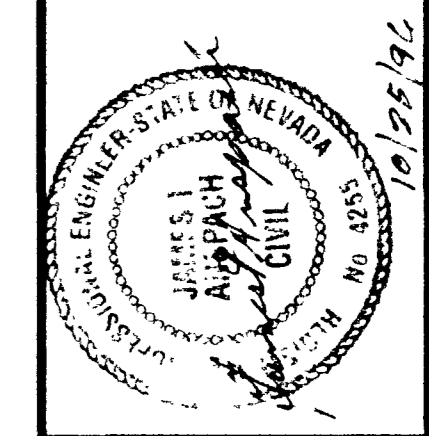
- 1. ALL HAND HOLE COVERS MUST BE INSTALLED, POLECAPS POURED, AND PULL BOX HDS BOLTED DOWN PRIOR TO ENERGIZING CIRCUIT. ALL WIRE MUST HAVE THE INSULATION.



STREET LIGHT LOCATION  
(PER C.L.V. STD DWG #318)

**SANITARY SEWER FLOW**

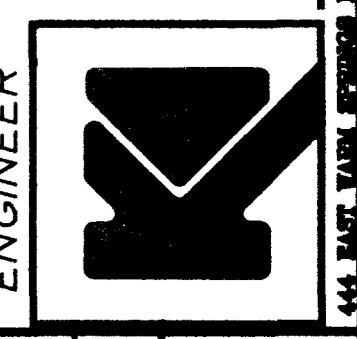
AVERAGE DAILY FLOW	20,700 GPD
PEAK FLOW	62,100 GPD



REV.	DATE	DESCRIPTION

- PLANNING
- CIVIL ENGINEERING
- ENVIRONMENTAL SERVICES
- LAND SURVEYING
- DEVELOPER SERVICES
- PUBLIC WORKS
- WATER RESOURCES

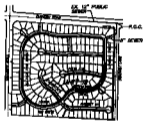
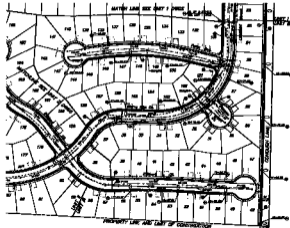
THE KEITH COMPANIES, NEVADA



DUNMORE HOMES INC.  
Mountainaire AT ELKHORN SPRINGS  
UNIT III  
MASTER UTILITY AND TRAFFIC PLAN

SHEET NO.:  
**7**  
7 OF 10 SHEETS

October 25, 1996 8:26:21 a.m. Drawing: Q:\DHI\50655\655PH3-U.DWG (A7) Refs: 655B52.DWG



NEIGHBORHOOD MAP

PROPERTY LINE AND LIMIT OF CONSTRUCTION

**NOTE CONCERNING PLAN**

THE PLANNED DEVELOPMENT OF THIS PROJECT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE LOCAL GOVERNMENT AGENCIES AND THE STATE DEPARTMENT OF TRANSPORTATION. THE PLANNED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE LOCAL GOVERNMENT AGENCIES AND THE STATE DEPARTMENT OF TRANSPORTATION. THE PLANNED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE LOCAL GOVERNMENT AGENCIES AND THE STATE DEPARTMENT OF TRANSPORTATION.

**NOTES:**  
 1. ALL LOT AREAS ARE TO BE DEVELOPED.  
 2. ALL LOT AREAS ARE TO BE DEVELOPED.  
 3. ALL LOT AREAS ARE TO BE DEVELOPED.

**CONSTRUCTION NOTES:**

- 1. ALL LOT AREAS ARE TO BE DEVELOPED.
- 2. ALL LOT AREAS ARE TO BE DEVELOPED.
- 3. ALL LOT AREAS ARE TO BE DEVELOPED.
- 4. ALL LOT AREAS ARE TO BE DEVELOPED.
- 5. ALL LOT AREAS ARE TO BE DEVELOPED.
- 6. ALL LOT AREAS ARE TO BE DEVELOPED.
- 7. ALL LOT AREAS ARE TO BE DEVELOPED.
- 8. ALL LOT AREAS ARE TO BE DEVELOPED.
- 9. ALL LOT AREAS ARE TO BE DEVELOPED.
- 10. ALL LOT AREAS ARE TO BE DEVELOPED.

**STREET LIGHT SCHEDULE**  
 ALL STREETS TO BE DEVELOPED SHALL BE EQUIPPED WITH STREET LIGHTS AS SHOWN ON THIS PLAN.



STREET LIGHT LOCATION

**APPROVED FOR:**  
 DATE: 11-27-10



TYLER  
 KRITH  
 COMPANIES,  
 NEVADA

CHAMBER HOMES INC.  
 MANUFACTURED AT ELIZABETH SERVICE  
 CENTER

DATE: 11-27-10

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