

971110

CC648

LAKE MEAD CONDOMINIUMS

A COMMON INTEREST CONDOMINIUM COMMUNITY

A PORTION OF THE WEST HALF (W 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 22, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA.

NOTE:

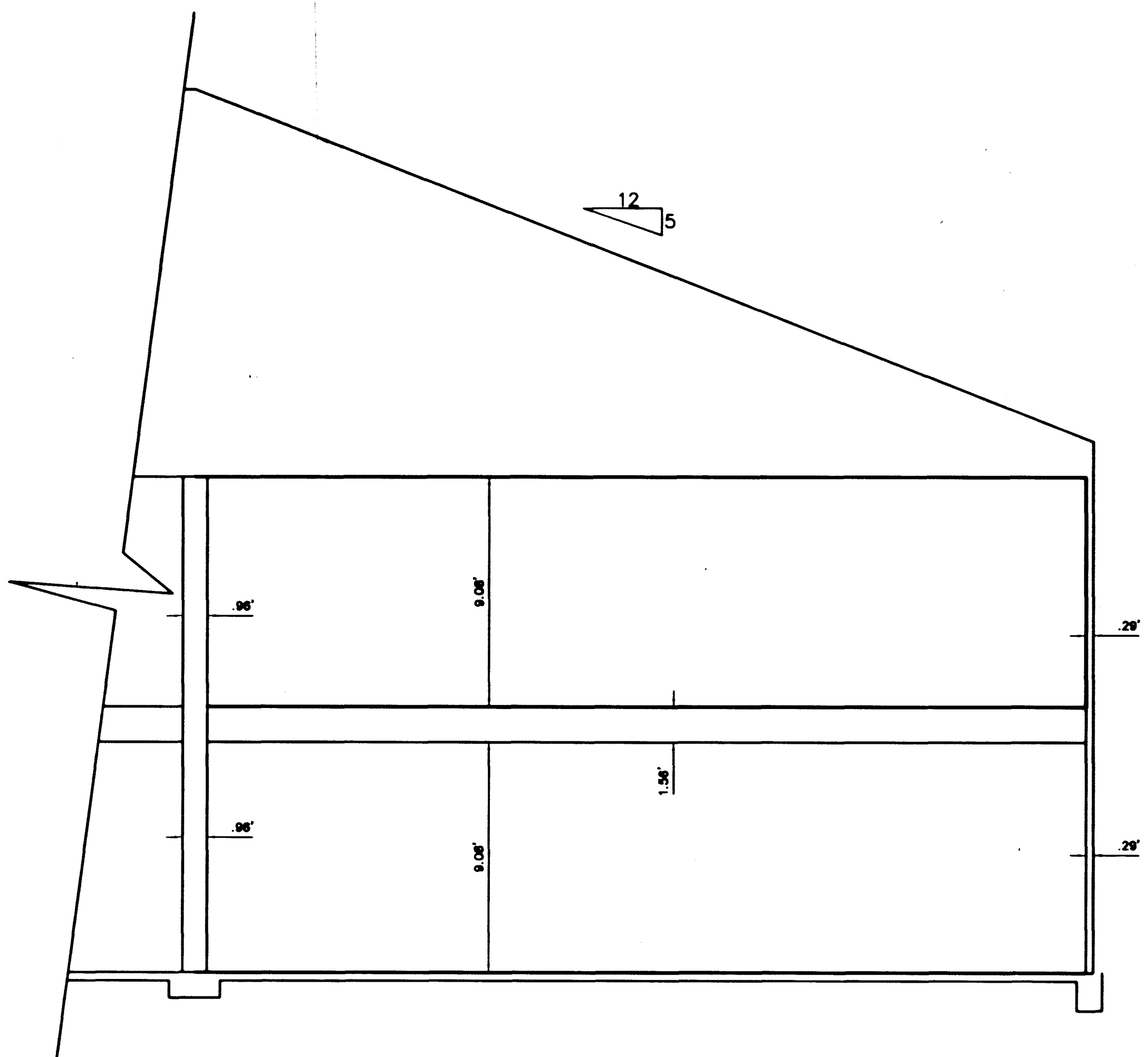
1. THE COMMON ELEMENT OF THIS CONDOMINIUM PLAN IS THE LAND AND REAL PROPERTY INCLUDED WITHIN THE LIMITS OF THE PROJECT AS DEFINED HEREIN, EXCEPTING THEREFROM THE UNITS SHOWN HEREIN AND DEFINED BY THE N.R.S. CHAPTER 116.11039, AND/OR AS FURTHER DEFINED IN THE DECLARATION AS PROVIDED FOR IN N.R.S. CHAPTER 116.2105
2. PORTIONS OF THE COMMON ELEMENT ARE HEREBY SET ASIDE AND ALLOCATED FOR THE LIMITED USE OF CERTAIN UNITS AS SHOWN HEREON AND AS SET FORTH IN N.R.S. 116.2102 SUB. 2 + 4 2ND IN THE "DECLARATION OF RESTRICTIONS" TO BE HEREINAFTER RECORDED AND SUCH AREAS SHALL BE KNOWN AS "LIMITED COMMON ELEMENTS" AND SUCH LIMITED COMMON ELEMENTS SHALL BE EASEMENTS APPURTENANT TO SAID UNITS FOR THE EXCLUSIVE USES AND PURPOSES FOR WHICH THE SAME ARE DESIGNATED HEREON.
3. EACH AREA DEPICTED WITHIN THIS MAP BEARING ON OF THE FOLLOWING DESIGNATIONS ARE "LIMITED COMMON ELEMENTS":
 - A. PATIO
 - B. BALCONY
 - C. LANDING/STAIRS (L/S)
 - D. CHIMNEY/FLUETHESE LIMITED COMMON ELEMENTS ARE ASSIGNED TO THE ADJACENT UNIT(S) WHICH HAVE THE SAME NUMERICAL DESIGNATION, SUBJECT TO THE CONDITIONS SET FORTH IN THE DECLARATION OF RESTRICTIONS AS HEREINAFTER RECORDED.
4. FOR OWNERSHIP PURPOSES, THE UNIT IS DEFINED BY THE N.R.S. CHAPTER 116.11039

NOTE:

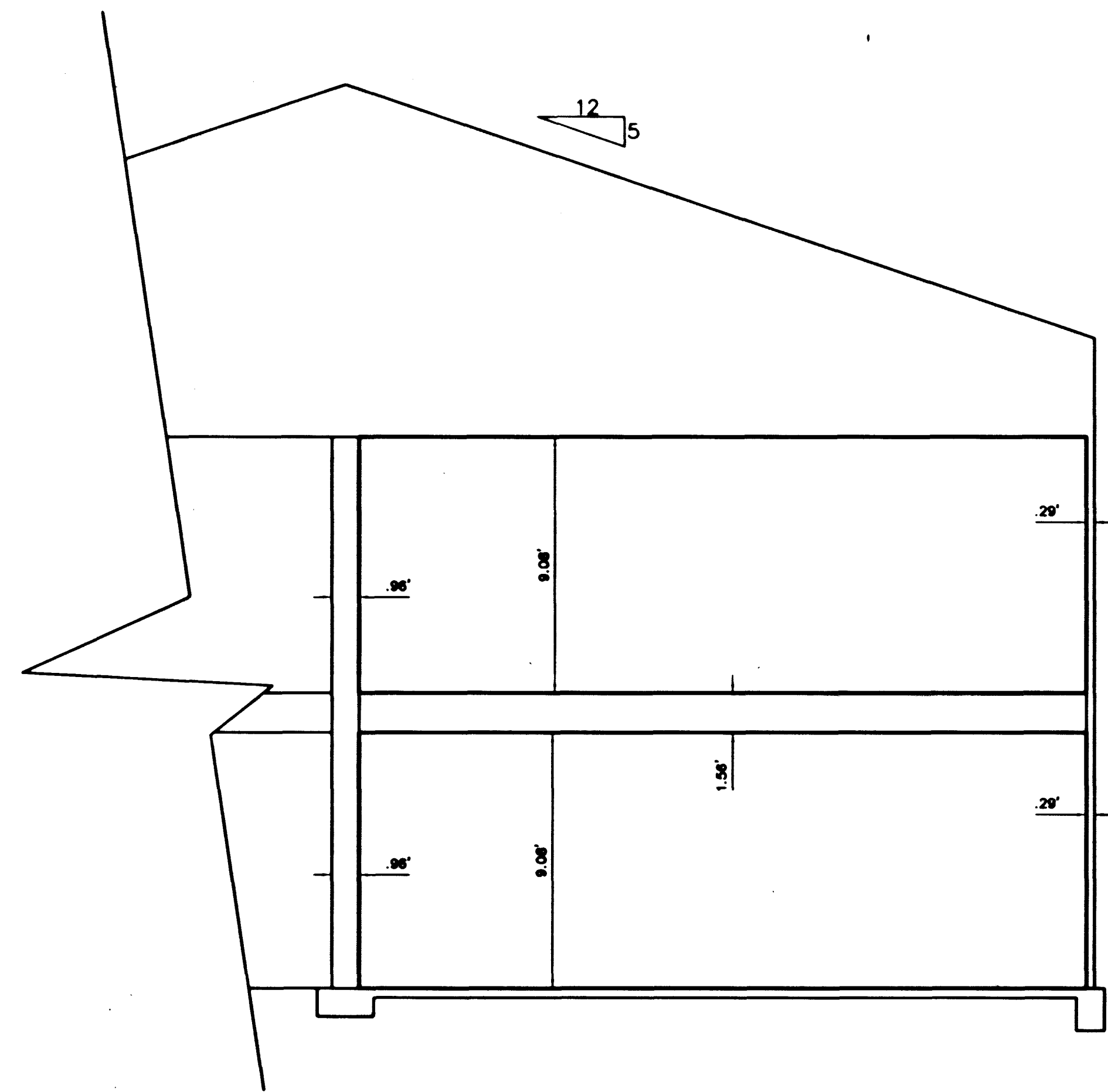
ALL INTERIOR DIMENSIONS ARE FROM FACE OF WALL TO FACE OF WALL (STUDS) AND BOTTOM OF CEILING (FACE OF JOISTS) TO TOP OF FLOOR (FACE OF CONCRETE OR PLYWOOD).

LEGEND:

- ① FIRST FLOOR PATIO / SECOND FLOOR BALCONY
- ② LANDING / STAIRS ENVELOPE
- ③ STORAGE AREA



BUILDING SECTION
SCALE: 1" = 4'



BUILDING SECTION
SCALE: 1" = 4'

NOTE:

THE UPPER LIMIT OF THE AIR SPACE FOR THE PATIO/BALCONY LIMITED COMMON ELEMENT IS THE SAME HEIGHT AS THE ADJACENT DWELLING UNIT TO WHICH IT IS ATTACHED.

SHEET 4 OF 5
JOB NO. 812-002-962

LR NELSON CONSULTING ENGINEERS
-STRUCTURAL 3035 E. Patrick Lane, #8
-CIVIL Las Vegas, NV 89120
-SURVEY (702) 798-7978

4294-1

Book 81 Page 98
PLAT FOR 107-V2686

1357

LAKE MEAD CONDOMINIUMS

A COMMON INTEREST CONDOMINIUM COMMUNITY

A PORTION OF THE NORTH HALF OF 1/2 OF THE NORTH-WEST QUARTER (NW 1/4) OF SECTION 22, TOWNSHIP 20 SOUTH, RANGE 80 EAST, MEAD, CLARK COUNTY, NEVADA

NOTE

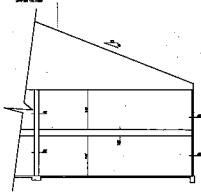
1. THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
2. THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
3. THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
4. THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
5. THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.

NOTE

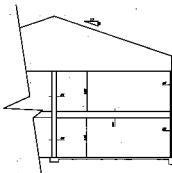
THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.

LEGEND

1. EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
2. EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.
3. EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.



BUILDING SECTION
SCALE 1/4" = 1'-0"



BUILDING SECTION
SCALE 1/4" = 1'-0"

NOTE

THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN AND THE EXISTING CURVE OF THE BUILDING IS AS SHOWN ON THE PLAN.

DATE: 10/1/80
DRAWN BY: J. L. L. L.

CHECKED BY: J. L. L. L.

APPROVED BY: J. L. L. L.