

LAKE MEAD CONDOMINIUMS

QUANTITIES

PRIVATE

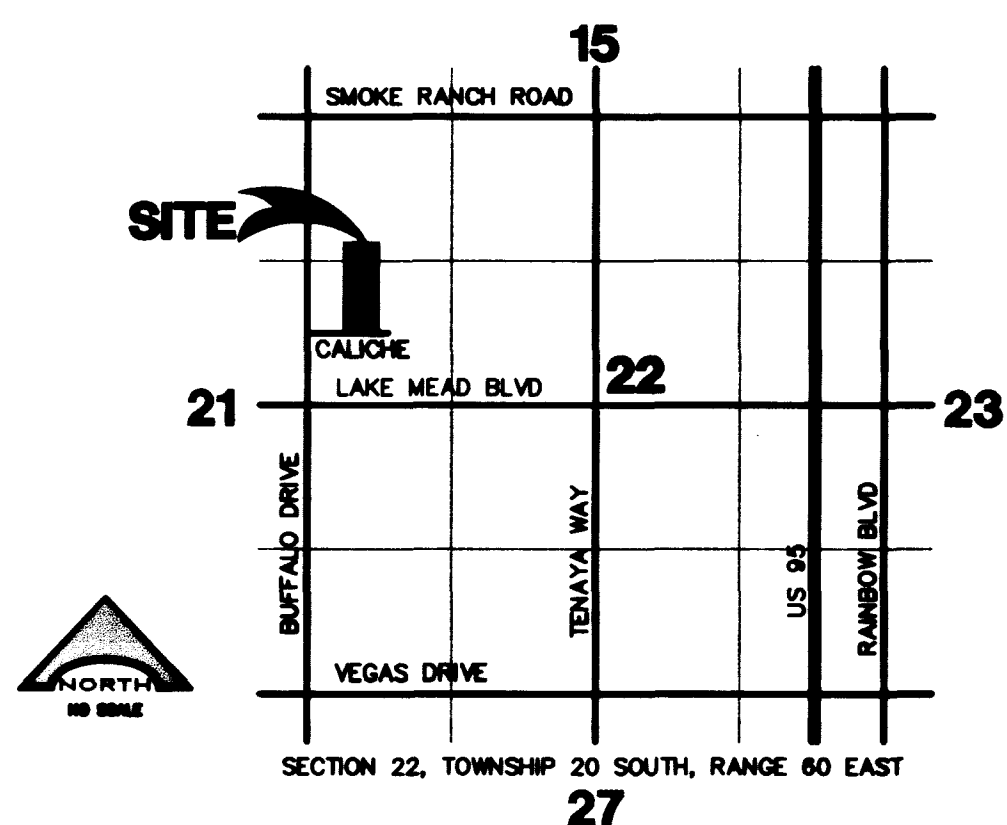
2" AC PAVEMENT	9550 SY
1" TYPE CURB AND GUTTER	63 LF
1" TYPE CURB	3149 LF
TYPE II AGGREGATE BASE	1167 CY
3' VALLEY GUTTER	1020 SF
8" PVC WATER	1778 LF
FIRE HYDRANT ASSEMBLY	7 EA

PUBLIC

12" x 12" x 8" TAPPING TEE W/TAPPING VALVE	2 EA
6" x 2" METER W/8'-3" x 6' CONCRETE VAULT	1 EA
8" x 2" METER W/8'-0" x 6'-6" CONCRETE VAULT	1 EA
8" DCVA	1 EA
10" DCVA	1 EA
8" PVC WATER	84 LF

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST EDITION, THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST EDITION, AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY, THE UNIFORM BUILDING CODE, AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
- THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCES WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD OR UNDERGROUND POWER, GAS AND/OR OTHER UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COSTS AND LIABILITY IN CONNECTION THEREWITH.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES, AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER OR OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
- TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGN TO BE APPROVED BY THE QUALITY CONTROL DIVISION PRIOR TO USE ON THE PROJECT.
- PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
- EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED TYPE CURB.
- AC PAVEMENT TO BE 1/2" ABOVE TOP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS.
- APPLY FOG SEAL ONLY AFTER ALL CORRECTIONS AND ADJUSTMENTS HAVE BEEN MADE.
- CURB & GUTTER WITH A GRADE OF LESS THAN FOUR TENTHS OF ONE PERCENT SHALL BE WATER TESTED AS SOON AS POSSIBLE AFTER CONSTRUCTION. ANY CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY SHALL BE REMOVED AND REPLACED.
- SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF AN INTERSECTION PER STANDARD DRAWING NO. 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF TRANSITIONS TO BE SHOWN AS ON PLANS, OR AS DESIGNATED IN THE FIELD BY A CITY INSPECTOR.
- ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE SOILS ENGINEER AND APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
- EXACT LOCATION OF ALL SNAOUT LINES MAY BE DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS INSPECTOR IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATION.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.550.
- UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC. SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APPROXS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.
- WALL NOTES:
 - ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN FOR THE PURPOSE OF GRADING RELATIONSHIPS.
 - THE STRUCTURAL AND ARCHITECTURAL DESIGN OF ALL WALLS (RETAINING OR NON-RETAINING) MUST BE APPROVED BY THE CITY OF LAS VEGAS BUILDING DEPARTMENT.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO PLACEMENT OF ASPHALT ON CITY STREETS.



VICINITY MAP

GRADING NOTES

- ALL GRADES SHOWN HEREON ARE TO FINISH GRADE.
- THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL CONSTRUCTION AND GRADING OPERATIONS ARE TO CONFORM TO THE RECOMMENDATIONS OF SOILS REPORT LISTED BELOW:
KLEINFELDER #31-200100
DATE: MARCH 21, 1995

BENCH MARK

OLV00-21E4
ELEVATION = 740.034 METERS (2427.93 FEET) NAVD 83
RIVET & PLATE IN TOP OF CURB, NW RETURN OF BUFFALO DRIVE
AND LAKE MEAD BOULEVARD.

LEGAL DESCRIPTION

A PORTION OF THE WEST HALF (W 1/2) OF THE
NORTHWEST QUARTER (NW 1/4) OF SECTION 22,
TOWNSHIP 20 SOUTH, RANGE 60 EAST.

BASIS OF BEARING

NORTH 02°13'08" WEST BEING THE WEST LINE OF THE SOUTHWEST
QUARTER (SW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF
SECTION 22, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. CLARK
COUNTY, NEVADA, AS SHOWN ON A MAP ON FILE IN THE CLARK
COUNTY RECORDER'S OFFICE BOOK 44, PAGE 07 OF PLATS.

OWNER

PACIFIC PARTNERSHIP, INC.
3111 So. MARYLAND PARKWAY
LAS VEGAS, NEVADA 89109

DEVELOPER

WARMINGTON HOMES
6767 W. TROPICANA #223
LAS VEGAS, NV 89103
(702) 248-1033

DEVIATION FROM STANDARDS

NONE

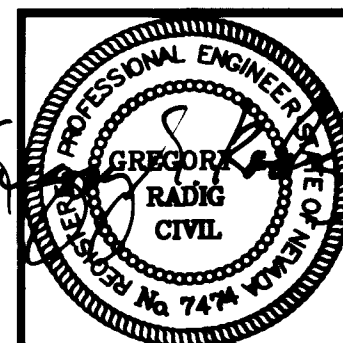
INDEX OF SHEETS

SHEET No. 1	COVER SHEET
SHEET No. 2	GRADING PLAN
SHEET No. 3	WATER PLAN
SHEET No. 4	SEWER PLAN
SHEET No. 5	DETAIL SHEET

APPROVALS

APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS LIMITED TO THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED RIGHTS-OF-WAY AND/OR DEDICATED EASEMENTS. THIS APPROVAL DOES NOT AUTHORIZE THE CONSTRUCTION OF ANY IMPROVEMENTS THAT DEVIATE FROM ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT THOSE SPECIFICALLY LISTED UNDER "DEVIATIONS FROM STANDARDS". THE ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED IN "DEVIATIONS FROM STANDARDS" IN FAVOR OF THE UNIFORM STANDARDS DRAWINGS AND SPECIFICATIONS CLARK COUNTY AREA NEVADA.

Dennis Anderson 6-30-97
DENNIS ANDERSON, P.E. - CITY ENGINEER, CITY OF LAS VEGAS DATE



6-26-97

DESIGNED BY:	PK	DRAWN BY:	RD	CHKD BY:	RD
LOG NUMBER:	812-002-962	DATE:	2-21-97		
REVISION	NO	DATE	APPL		

L. R. NELSON CONSULTING ENGINEERS, INC.

• STRUCTURAL • CIVIL • SURVEY

3035 East Patrick Lane Suite 9
Las Vegas, Nevada 89120

(702) 798-7978
(702) 451-2296 FAX

COVER SHEET

LAKE MEAD CONDOMINIUMS

WARMINGTON HOMES

NEVADA

CITY OF LAS VEGAS

SHEET NUMBER

1

OF 5 SHEETS

812-002-962

107-V2686

1357

LATEST PLOT DATE 6-4-97

DRAWING NAME: LM-COR

Thu Jun 26 08:54:29 1997

LAKE MEAD CONDOMINIUMS



Figure 11

FURNACE	
DATE	
TIME	
TEMP.	
WGT.	

TABLE 1

1. NAME _____
 2. DATE _____
 3. TIME _____

[illegible]

1. THE FIRST PART OF THE STORY
2. THE SECOND PART OF THE STORY
3. THE THIRD PART OF THE STORY
4. THE FOURTH PART OF THE STORY
5. THE FIFTH PART OF THE STORY
6. THE SIXTH PART OF THE STORY
7. THE SEVENTH PART OF THE STORY
8. THE EIGHTH PART OF THE STORY
9. THE NINTH PART OF THE STORY
10. THE TENTH PART OF THE STORY
11. THE ELEVENTH PART OF THE STORY
12. THE TWELFTH PART OF THE STORY
13. THE THIRTEENTH PART OF THE STORY
14. THE FOURTEENTH PART OF THE STORY
15. THE FIFTEENTH PART OF THE STORY
16. THE SIXTEENTH PART OF THE STORY
17. THE SEVENTEENTH PART OF THE STORY
18. THE EIGHTEENTH PART OF THE STORY
19. THE NINETEENTH PART OF THE STORY
20. THE TWENTIETH PART OF THE STORY

1998

1. the small house stands at the end of the road
2. the small house stands at the end of the road
3. the small house stands at the end of the road
4. the small house stands at the end of the road

REFERENCES

- Keywords:** child sexual abuse; disclosure; social support

1994, 1995

- ### REFERENCES

REFERENCES

- $$= \frac{1}{2} \left(\frac{1}{2} + \frac{1}{2} \right) = \frac{1}{2}$$

1999

- Abstract**

•

- Figure 2**

Figure 1 **Flowchart of the study**

REFERENCES

- | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22 | 23 | 24 | 25 | 26 | 27 | 28 | 29 | 30 | 31 | 32 | 33 | 34 | 35 | 36 | 37 | 38 | 39 | 40 | 41 | 42 | 43 | 44 | 45 | 46 | 47 | 48 | 49 | 50 | 51 | 52 | 53 | 54 | 55 | 56 | 57 | 58 | 59 | 60 | 61 | 62 | 63 | 64 | 65 | 66 | 67 | 68 | 69 | 70 | 71 | 72 | 73 | 74 | 75 | 76 | 77 | 78 | 79 | 80 | 81 | 82 | 83 | 84 | 85 | 86 | 87 | 88 | 89 | 90 | 91 | 92 | 93 | 94 | 95 | 96 | 97 | 98 | 99 | 100 |
|---|---|---|---|---|---|---|---|---|-----|

Abstract

- CONTRACTS**