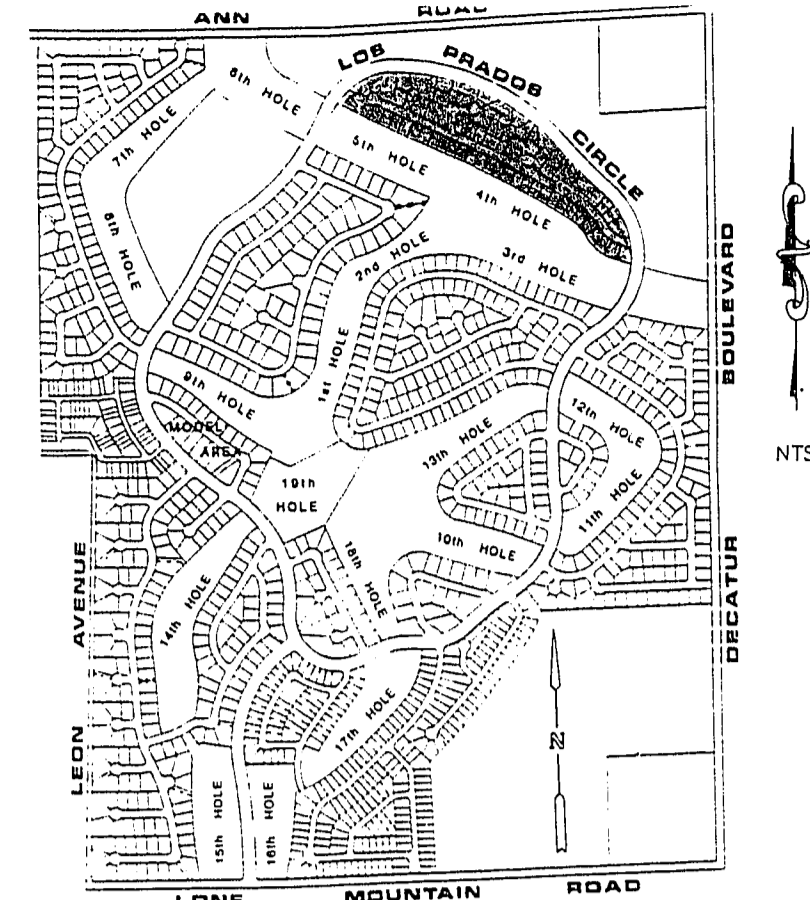


LEGEND

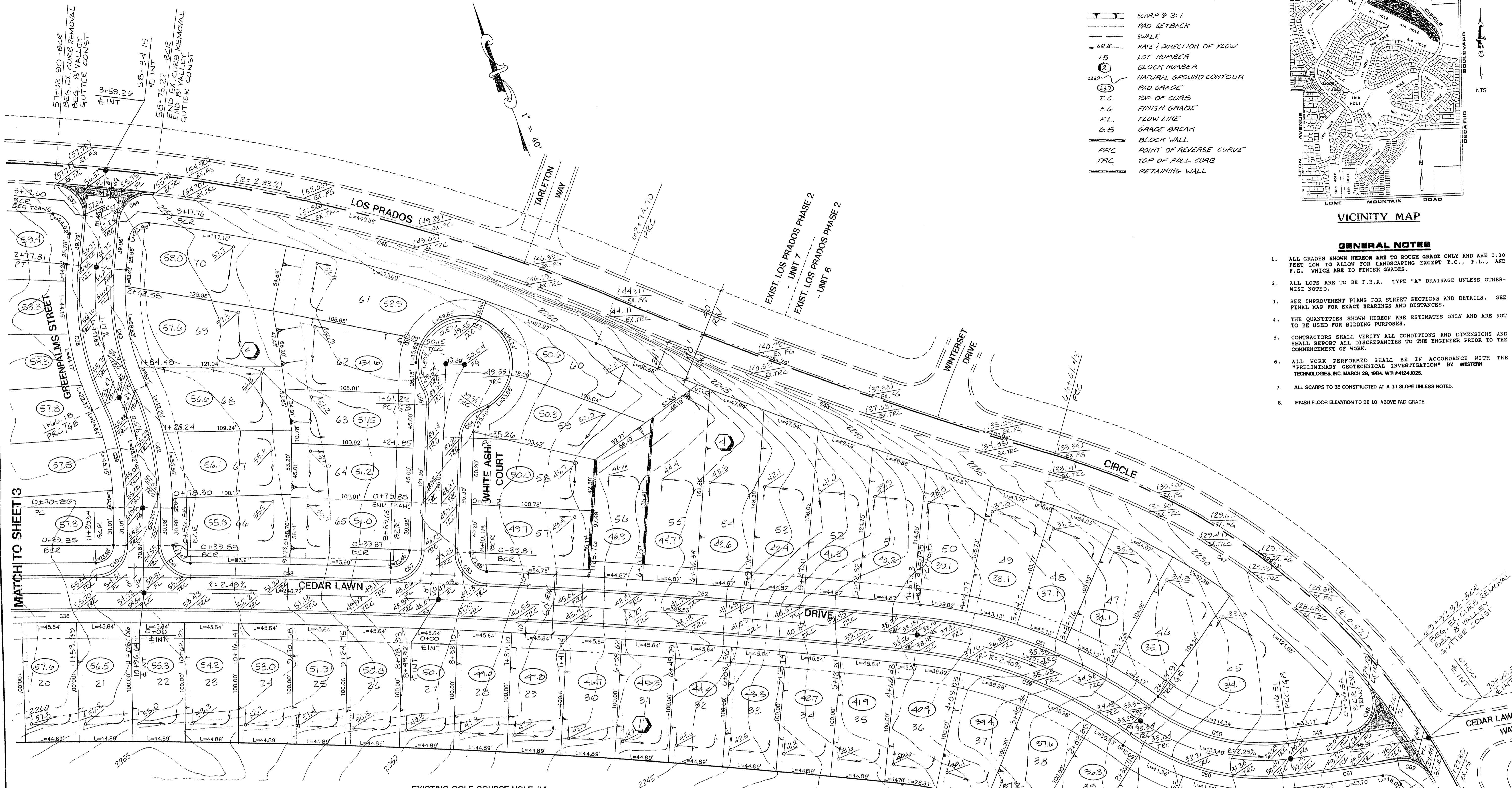
- SCARP @ 3:1
- PAD SETBACK
- SWALE
- ARX RATE & DIRECTION OF FLOW
- 15 LOT NUMBER
- 2 BLOCK NUMBER
- 22.0 NATURAL GROUND CONTOUR
- 6.87 PAD GRADE
- T.C. TOP OF CURB
- F.G. FINISH GRADE
- F.L. FLOW LINE
- G.B. GRADE BREAK
- BLOCK WALL
- ARC POINT OF REVERSE CURVE
- TRC TOP OF ROLL CURB
- RETAINING WALL



VICINITY MAP

GENERAL NOTES

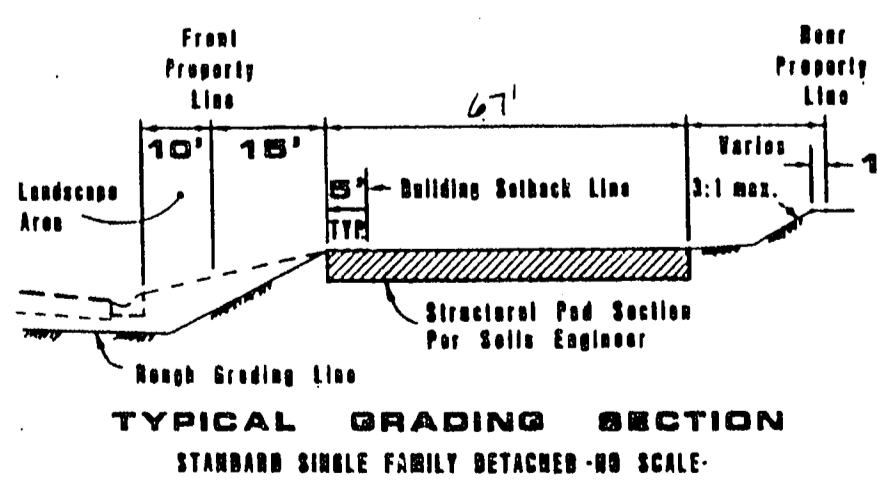
1. ALL GRADES SHOWN HEREON ARE TO ROUGH GRADE ONLY AND ARE 0.30 FEET LOW TO ALLOW FOR LANDSCAPING EXCEPT T.C., F.L., AND F.G. WHICH ARE TO FINISH GRADES.
2. ALL LOTS ARE TO BE P.R.A. TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
3. SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
4. THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
5. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
6. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE "PRELIMINARY GEOTECHNICAL INVESTIGATION" BY WESTERN TECHNOLOGIES, INC. MARCH 29, 1984, WTI #4124-025.
7. ALL SCARPS TO BE CONSTRUCTED AT A 3:1 SLOPE UNLESS NOTED.
8. FINISH FLOOR ELEVATION TO BE 1' ABOVE PAD GRADE.



EXISTING GOLF COURSE HOLE #4

B/C CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C36	810.00'	960.23'	481.11'	63.01°
C37	25.00'	40.03'	25.77'	91.44.55"
C38	225.71'	119.58'	61.23'	30.71.17"
C39	207.00'	68.88'	43.13'	24.38.03"
C40	25.00'	39.10'	24.83'	89.38.01"
C41	25.00'	39.12'	24.85'	89.38.22"
C42	237.50'	101.76'	51.67'	24.38.03"
C43	195.71'	103.69'	53.09'	30.21.17"
C44	25.00'	39.93'	25.67'	81.30.17"
C45	1434.00'	395.07'	198.79'	15.47.08"
C46	376.00'	398.83'	194.58'	08.58.29"
C47	534.00'	321.25'	165.65'	34.28.07"
C48	25.00'	32.79'	44.18'	120.59.31"
C49	386.00'	49.74'	24.87'	07.44.18"
C50	180.00'	121.98'	64.12'	43.40.28"
C51	400.00'	209.33'	107.12'	29.58.08"
C52	6140.00'	359.61'	173.88'	03.12.22"
C53	25.00'	39.11'	24.84'	89.37.42"
C54	25.00'	29.69'	18.87'	88.02.05"
C55	198.00'	33.92'	17.88'	28.08.45"
C56	25.00'	14.00'	7.18'	32.04.40"
C57	25.00'	39.11'	24.84'	89.37.42"
C58	6140.00'	163.63'	83.67'	01.33.51"
C59	370.00'	193.63'	98.08'	29.58.08"
C60	190.00'	144.63'	76.14'	43.40.28"
C61	386.00'	89.78'	44.38'	01.18.08"
C62	25.00'	30.38'	17.37'	89.35.03"
C63	534.00'	92.75'	46.49'	09.57.05"

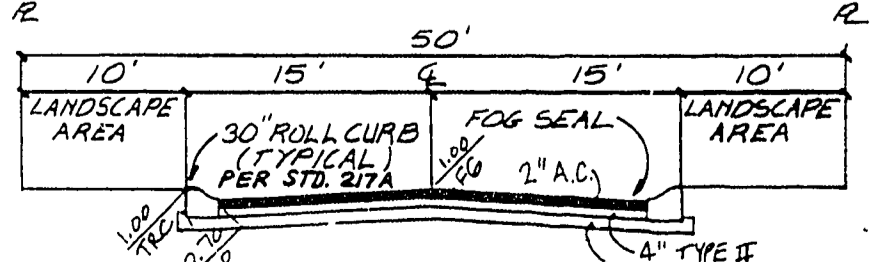


TYPICAL GRADING SECTION  
STANDARD SINGLE FAMILY DETACHED-NO SCALE

BENCHMARK

N.L.V. BENCHMARK 2-6-109 16" DIAMETER CONCRETE MONUMENT, 47.60 FEET EAST AND 50.30 FEET SOUTH OF THE NORTHWEST QUARTER CORNER OF SECTION 6, MARKED BY LONE MOUNTAIN ROAD AND DECATUR BOULEVARD.  
ELEVATION = 2210.38'

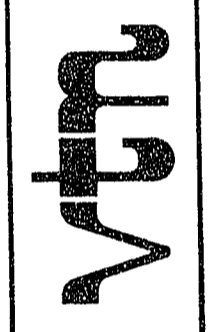
NOTE: ALL STREETS ARE PRIVATE AND ARE TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.



TYPICAL PRIVATE STREET SECTION

U.S. HOME CORPORATION  
CITY OF LAS VEGAS, NEVADA

CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS  
2727 SOUTH RAINBOW BOULEVARD  
LAS VEGAS, NEVADA 89102-5148 PHONE (702) 873-7550 FAX (702) 362-2587



ROUGH GRADING PLAN

LOS PRADOS - PHASE 2

UNIT - 5

10/93  
RPF

WD NO.	3188-D8
BY	RPF
DATE	6/01/93
SCALE	1"=40'
SHEET	2 OF 9 SHEETS

"I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT."