

**NOTES**

1. CONCRETE BLOCK WALL ALTERNATE WILL BE PRECAST CONCRETE FINITE.
2. ALL REAR LOT LINE WALLS, EXCEPT PERIMETER WALLS, SHALL BE 5 FEET HIGH BETWEEN INTERSECTING SIDE LOT LINE WALLS.
3. ALL PERIMETER WALLS SHALL BE 6 FEET HIGH.

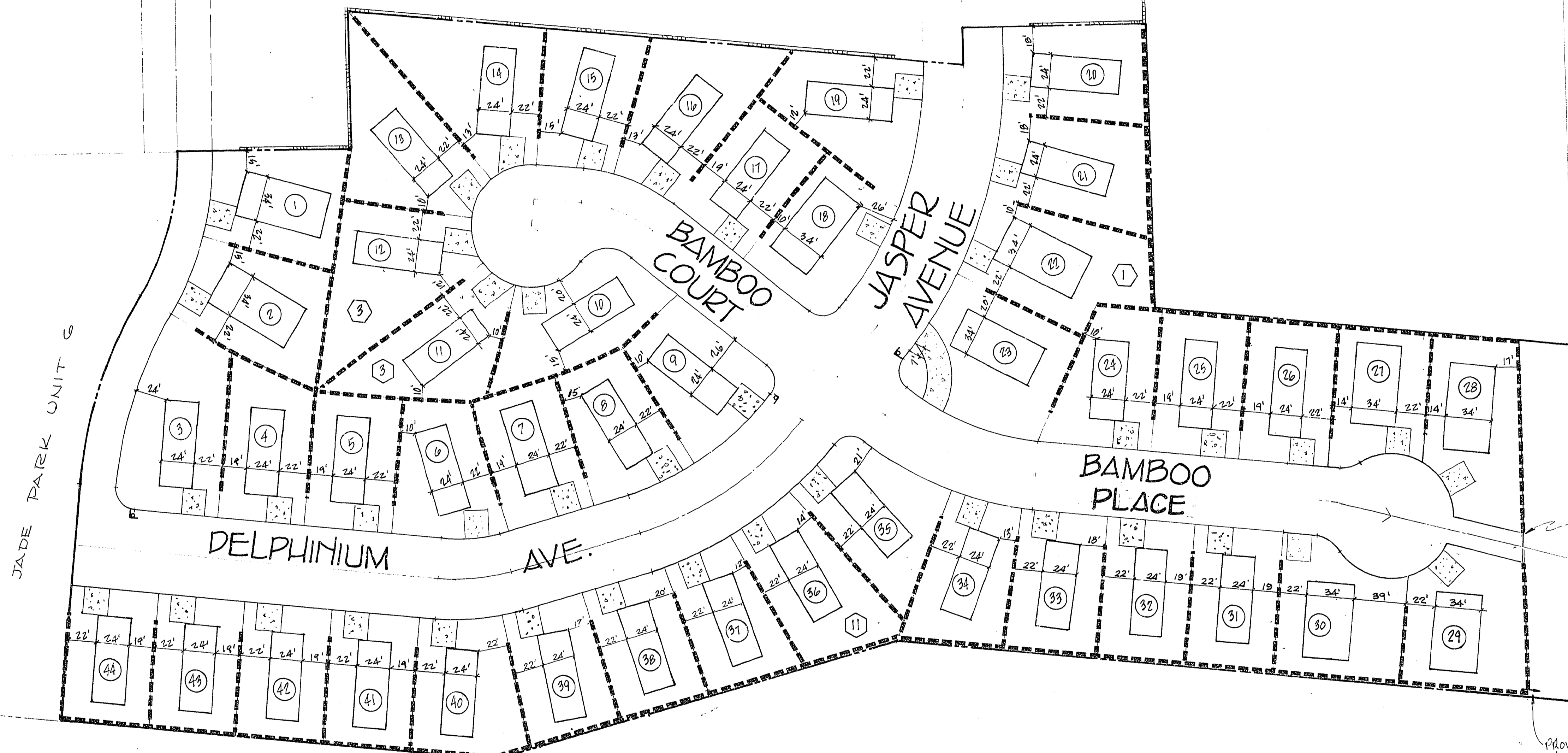
TORREY PINES DRIVE  
40'

1" = 50' NORTH

JASPER AVENUE  
60'

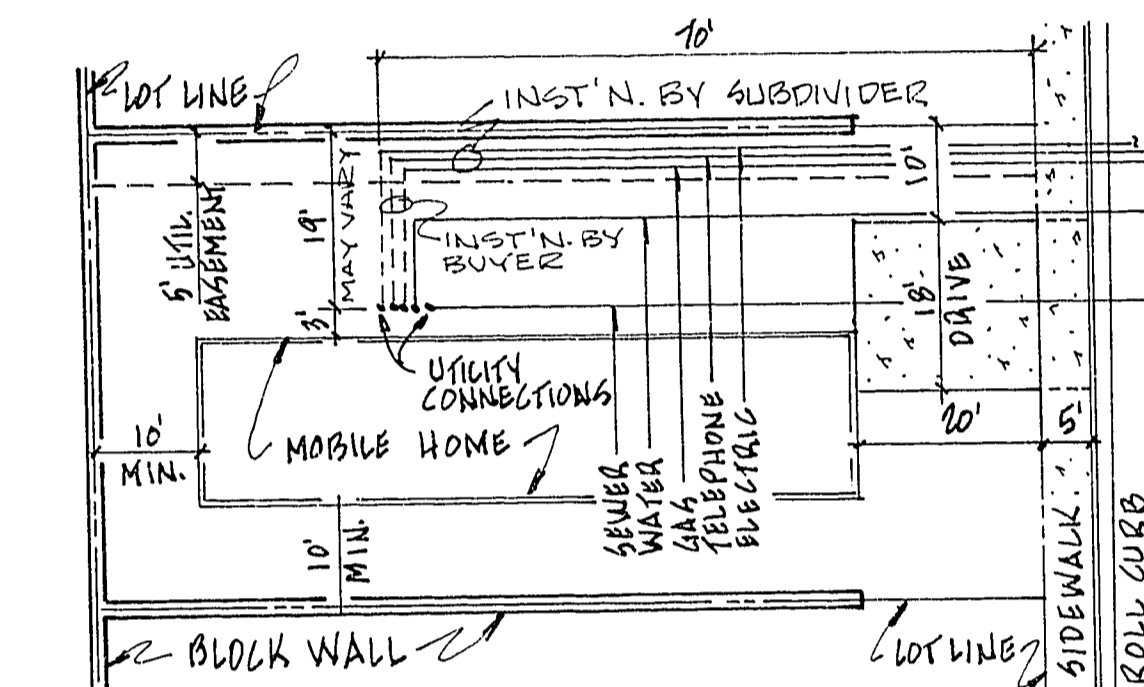
JADESTONE AVENUE  
51'

JADE PARK UNIT 2



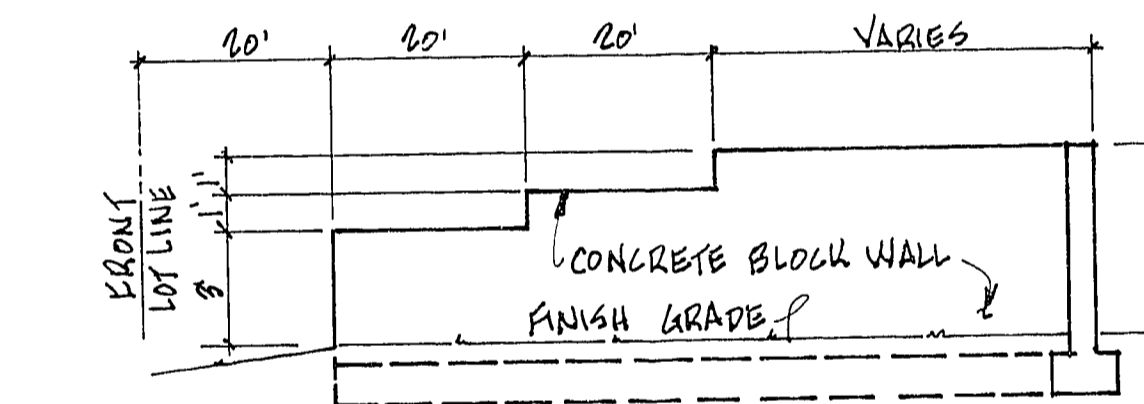
**ON-LOT UTILITY LINE NOTES**

- INDICATES SUBDIVIDER INSTALLATION
- INDICATES BUYERS RESPONSIBILITY



**TYPICAL LOT PLAN**

1" = 20'



**TYPICAL SIDE LOT LINE WALL ELEVATION**

NO SCALE

**APPROVALS**

*[Signature]* 1/10/18  
CITY ENGINEER DATE

*[Signature]* 1/10/18  
FIELD OPERATIONS ENGINEER DATE

*[Signature]* 1/10/18  
QUALITY CONTROL ENGINEER DATE

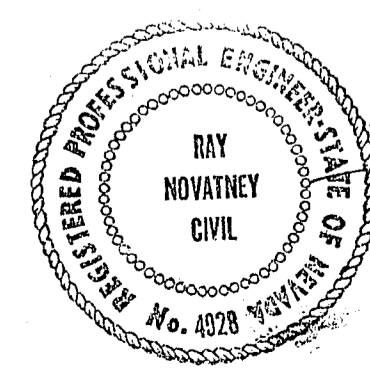
*[Signature]* 1/10/18  
BUILDING DEPT. DATE

**QUANTITIES**

CONCRETE DRIVEWAY	1160	SY
STREET SIGN	3	EA
3' HIGH C. B. WALL	840	LF
4' HIGH C. B. WALL	840	LF
5' HIGH C. B. WALL	2425	LF
6' HIGH C. B. WALL	1823	LF

**LEGEND**

- EXISTING CONCRETE BLOCK WALL
- BLOCK NUMBER
- MOBILE HOME
- NEW CONCRETE BLOCK WALL
- NEW CONCRETE DRIVEWAY
- STREET SIGN



SUBMITTED

RAY NOVATNEY, RCE 4028 18 OCT 17 DATE

**PLOT PLAN  
JADE PARK UNIT NO. 3**

TUREGUN & ASSOCIATES  
CONSULTING ENGINEERS  
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NEVADA 89030  
PHONE: 642-2676

SHEET  
**7/10**