

EXISTING WELLINGTON MEADOWS APARTMENTS
CLV DWG. # 107-V2606

EXISTING WELLINGTON VILLAGE SQUARE
PHASE 1
CLV DWG. # 107Y-4522-1

PROPOSED 3 STORY HOTEL (77 ROOMS)

PROPOSED WELLINGTON COMMERCIAL CENTER
PHASE 2 BY VTN of NEVADA
CLV DWG. # 107Y-4522-2

PROPOSED WELLINGTON VILLAGE SQUARE
BY VTN of NEVADA
CLV DWG. # 107Y-4566-2
(PENDING)

LINE	LENGTH	BEARING
L1	7.54	N00°12'13"W
L2	2.38	S89°47'47"W
L3	20.51	S00°12'13"E
L4	4.50	S00°12'13"E
L5	13.50	S00°12'13"E
L6	13.50	S00°12'13"E
L7	15.00	S00°12'13"E
L8	7.00	S00°12'13"E
L9	7.50	S00°12'13"E
L10	15.00	S00°12'13"E
L11	15.00	S00°12'13"E
L12	15.00	S00°12'13"E
L13	15.00	S00°12'13"E
L14	2.24	N89°47'47"E
L15	12.75	N89°47'47"E
L16	15.50	N00°12'13"W
L17	12.00	N00°12'13"W
L18	12.00	N00°12'13"W
L19	14.28	S00°12'13"E
L20	14.50	S00°12'13"E
L21	14.50	S00°12'13"E
L22	27.00	S89°47'47"W
L23	15.00	S00°12'13"E
L24	15.00	S00°12'13"E
L25	15.02	S00°12'13"E
L26	13.71	S00°12'13"E
L27	15.00	S00°12'13"E
L28	27.00	N89°47'47"E
L29	15.00	N00°12'13"W
L30	15.00	N00°12'13"W
L31	36.57	S89°47'47"W
L32	15.00	S00°12'13"E
L33	6.00	N89°47'47"E
L34	9.00	S89°47'47"W
L35	6.46	N00°12'13"W
L36	3.16	N89°47'47"E
L37	3.38	N89°47'47"E
L38	11.15	N89°47'47"E

CURVE	LENGTH	RADIUS	DELTA
C1	6.15	5.00	70°31'13"
C2	4.71	3.00	90°00'00"
C3	16.70	39.50	241°2'56"
C4	4.71	3.00	90°00'00"
C5	9.42	3.00	180°00'00"
C6	4.71	3.00	90°00'00"
C7	8.64	5.50	90°00'00"
C8	16.49	10.50	90°00'00"
C9	16.49	10.50	90°00'00"
C10	5.10	5.50	53°07'48"
C11	6.64	3.00	126°52'12"
C12	9.42	3.00	180°00'00"
C13	4.71	3.00	90°00'00"
C14	3.14	2.00	90°00'00"
C15	9.75	54.50	101°5'15"
C16	0.98	5.50	101°5'15"
C17	4.71	3.00	90°00'00"
C18	14.14	4.50	180°00'00"
C19	20.52	17.81	66°01'42"
C20	5.90	3.00	112°45'24"
C21	11.00	3.50	180°00'00"
C22	4.71	3.00	90°00'00"
C23	4.71	3.00	90°00'00"
C24	4.86	3.00	92°50'23"
C25	15.21	10.00	87°09'37"
C26	5.46	30.50	101°5'15"
C27	5.28	29.50	101°5'15"
C28	4.71	3.00	90°00'00"
C29	4.71	3.00	90°00'00"
C30	4.71	3.00	90°00'00"
C31	4.71	3.00	90°00'00"

PARKING REQUIREMENTS:

NOTE: PARKING SPACES SHALL BE BASED ON THE MINIMUM GOVERNING AUTHORITIES REQUIREMENTS.
 PARKING REQUIRED= 77 (1.0 SPACE PER ROOM X 77)
 PARKING PROVIDED= 78 (73 REGULAR & 4 HANDICAP, PLUS 1 HC VAN ACCESSIBLE).

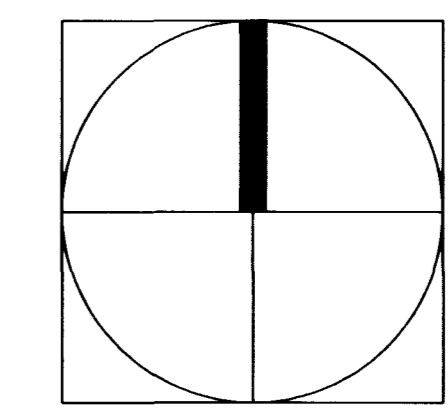
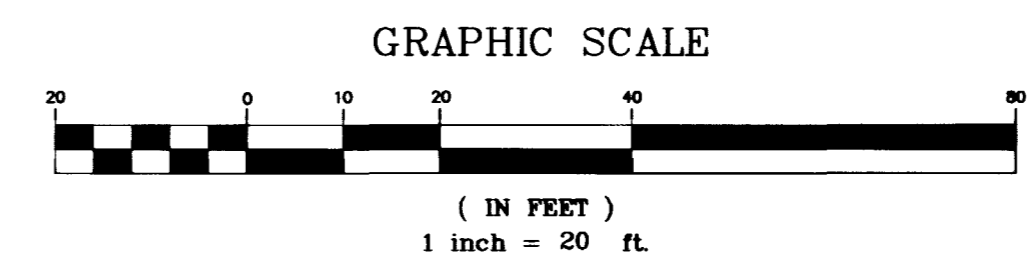
KEYNOTES:

- ① PAINTED HANDICAP SYMBOL
- ② HANDICAP SIGNAGE SEE ARCHITECT'S PLAN
- ③ 4" PARKING STRIPE (WHITE)
- ④ LANDSCAPE AREA
- ⑤ PRECAST WHEEL STOP PER STD. DWG. NO. 238
- # NUMBER OF STANDARD PARKING STALLS

NUMBER OF UNITS: 77
 FIRST FLOOR S.F. 15,257
 TYP. UNIT S.F. 400
 TOTAL SITE AREA: 1.87 AC. (NET)

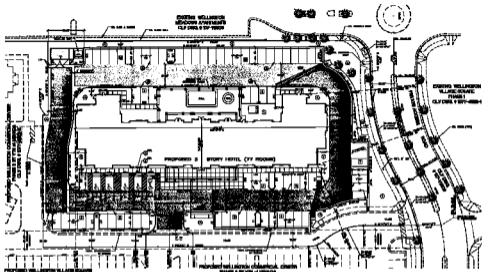
PAVING NOTE:
 SHADED ASPHALT CONCRETE IS 3" AC PAVING. ALL OTHER AREAS TO RECEIVE 2" AC PAVING (SEE DETAILS ON SHEET C3.2).

NOTE
 ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED



Call before you OVERHEAD
 1-702-593-6111
 Call before you Dig.
 1-800-227-2600

HOSPITALITY ASSOCIATES 9008 N. SULLIVAN RD. BLDG. #64 SPOKANE, WA 99216 (509) 928-3736	Engineers/Planners/Surveyors 205 East Warm Springs Road Suite 108 LAS VEGAS, NV 89119 (702) 966-9004
HORIZONTAL CONTROL PLAN	HAWTHORN SUITES LTD SAHARA AVE. and FORT APACHE ROAD CITY OF LAS VEGAS, NEVADA
SHEET: 2/1/99 DESIGNED BY: J.W. RIPLEY CHECKED BY: J.W. RIPLEY PROJECT NO.: 99-503	SCALE: 1" = 20' SHEET: C2.1 5 OF 10 SHEETS DRAWING NO.: 107-V3073



REMARKS:

SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF THE PROPOSED HOTEL AND PARKING AREAS.
 THE PROPOSED HOTEL IS TO BE BUILT ON THE SITE OF THE EXISTING HOTEL.
 THE PROPOSED PARKING AREAS ARE TO BE BUILT ON THE SITE OF THE EXISTING PARKING AREAS.

NOTES:

- 1. EXISTING BUILDING FOUNDATION
- 2. EXISTING DRIVEWAY
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- 77. EXISTING DRIVEWAY

PAVING NOTE:

SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF THE PROPOSED PAVING.

NOTE:

ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.



PROPOSED WELLINGTON VILLAGE SQUARE BY 100' WIDE ROAD CLY DMS 4 87-1000-2 PAVING

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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PROPOSED WELLINGTON VILLAGE SQUARE PHASE 2 BY 100' WIDE SPRADA CLY DMS 4 87-1000-3

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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WWW.HOSPITALITYASSOCIATES.CO.NZ

PROJECT NO. 1000
DATE 10/10/00
SCALE 1:1000
PROJECT NAME PROPOSED 3 STORY HOTEL (77 ROOMS)
CLIENT EASTERN WELLINGTON VILLAGE SQUARE PHASE 1
DESIGNER HOSPITALITY ASSOCIATES
ENGINEER EKN
ARCHITECT HOSPITALITY ASSOCIATES
LANDSCAPE ARCHITECT HOSPITALITY ASSOCIATES
PLANNING HOSPITALITY ASSOCIATES
ENVIRONMENTAL CONSULTANT HOSPITALITY ASSOCIATES
TRAVEL AGENT HOSPITALITY ASSOCIATES
AVIATION CONSULTANT HOSPITALITY ASSOCIATES
CONSTRUCTION CONSULTANT HOSPITALITY ASSOCIATES
LEGAL CONSULTANT HOSPITALITY ASSOCIATES
FINANCIAL CONSULTANT HOSPITALITY ASSOCIATES
MARKETING CONSULTANT HOSPITALITY ASSOCIATES
OPERATIONAL CONSULTANT HOSPITALITY ASSOCIATES
RECREATION CONSULTANT HOSPITALITY ASSOCIATES
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THEATRE CONSULTANT HOSPITALITY ASSOCIATES
TOUR OPERATOR HOSPITALITY ASSOCIATES
TRAINING CONSULTANT HOSPITALITY ASSOCIATES
UNIVERSITY CONSULTANT HOSPITALITY ASSOCIATES
WATER SUPPLY CONSULTANT HOSPITALITY ASSOCIATES
WASTE MANAGEMENT CONSULTANT HOSPITALITY ASSOCIATES
WATER TREATMENT CONSULTANT HOSPITALITY ASSOCIATES
WATER SUPPLY CONSULTANT HOSPITALITY ASSOCIATES
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