

NOTE:

J.H.R. ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF A CONFLICT EXISTS BETWEEN WHAT IS SHOWN ON THIS DRAWING AND WHAT EXISTS IN THE FIELD, CONTRACTOR IS TO NOTIFY THE ENGINEER IMMEDIATELY.

REDUCED PRESSURE PRINCIPLE ASSEMBLY 1 - 3/4"

APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S) SHALL BE INSTALLED PER THE DISTRICT'S STANDARD PLATE No. 11A. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACKFLOW PREVENTION UNTIL THE REDUCED PRESSURE PRINCIPLE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVWD.

ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S), SO AS TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY.

WATER PRESSURE NOTE:

THIS PROPERTY MAY HAVE STATIC WATER PRESSURE IN EXCESS OF 80 PSI. THE UNIFORM PLUMBING CODE REQUIRES THAT INDIVIDUAL ON-SITE (PRIVATE) PRESSURE REDUCING VALVES BE INSTALLED WHENEVER THE PRESSURE EXCEEDS 80 PSI. PRV'S ARE THE DEVELOPER'S RESPONSIBILITY AND WILL NOT BE INSPECTED OR INCLUDED IN THE ACCEPTANCE OF LVWD FACILITIES.

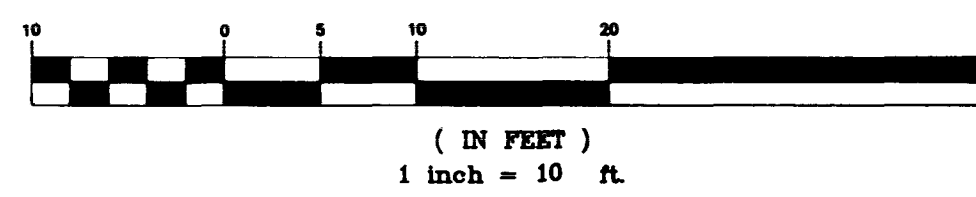
BENCHMARK

CITY OF LAS VEGAS BENCHMARK (#601255W6) RIVET AND AL-PLATE IN TOP OF CURB AT THE NORTH EAST CORNER OF SAHARA AND 15th STREET (NAVD) ELEV = 1979.81' (603.4487 M)

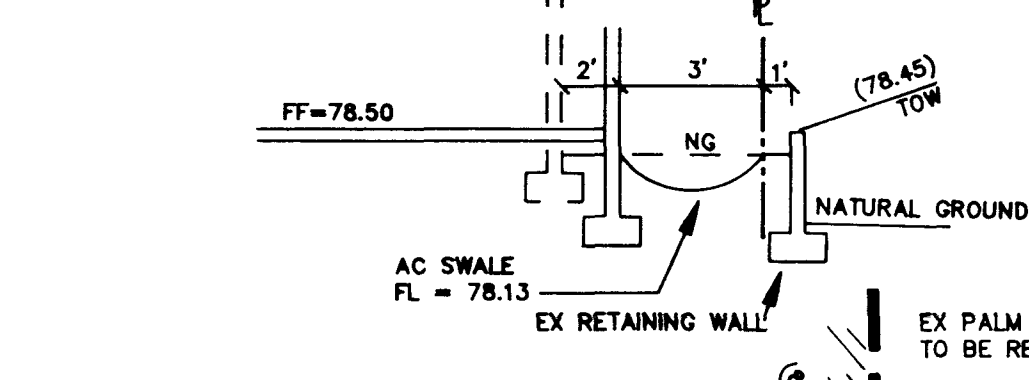
BASIS OF BEARING

S 88°46'08" W BEING THE SOUTH LINE OF SECTION 2, T21S, R61E, M.D.M. CLARK COUNTY, NEVADA, PER SAN FRANCISCO PARK SUBDIVISION IN BOOK 4, PAGE 83 OF PLATS

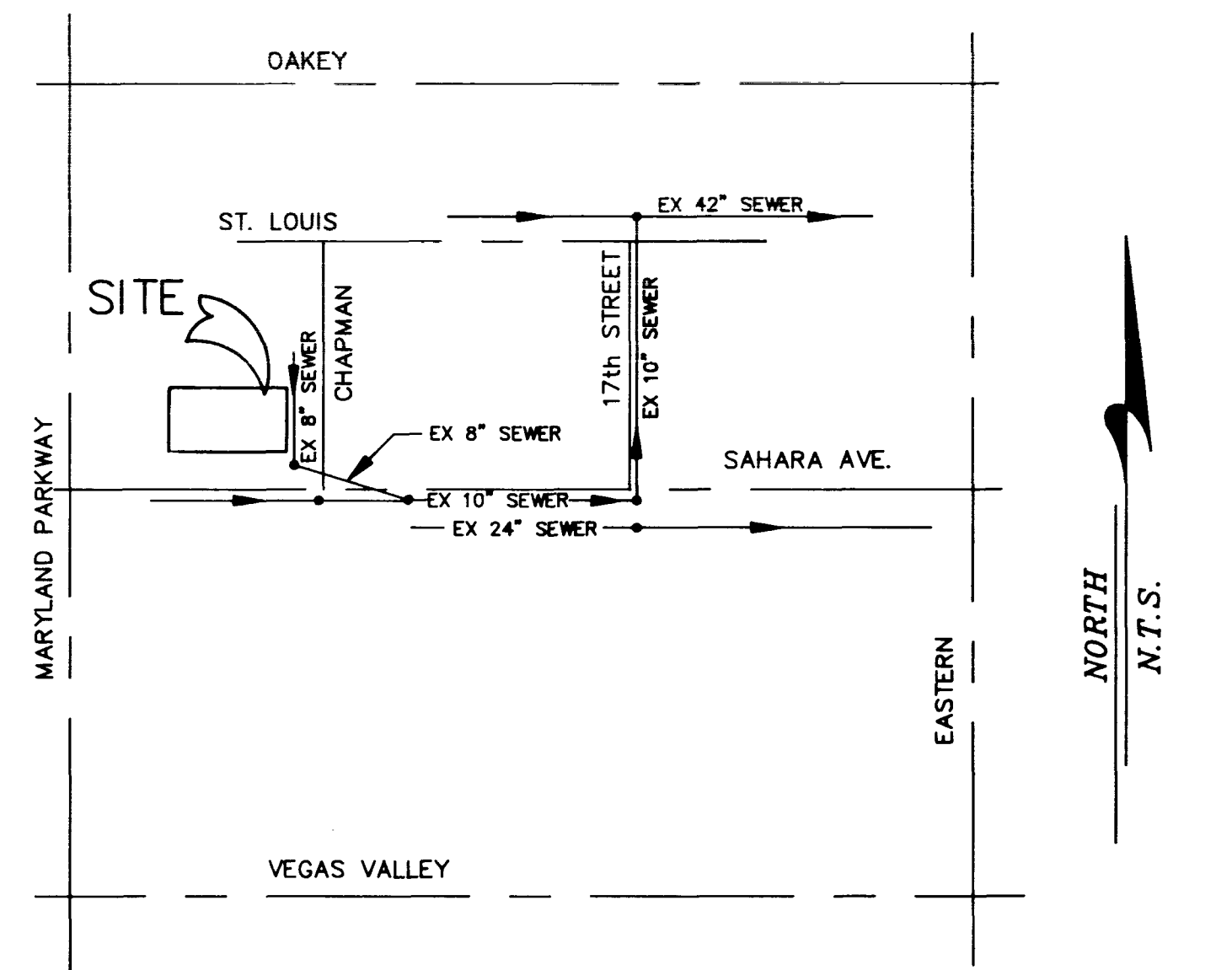
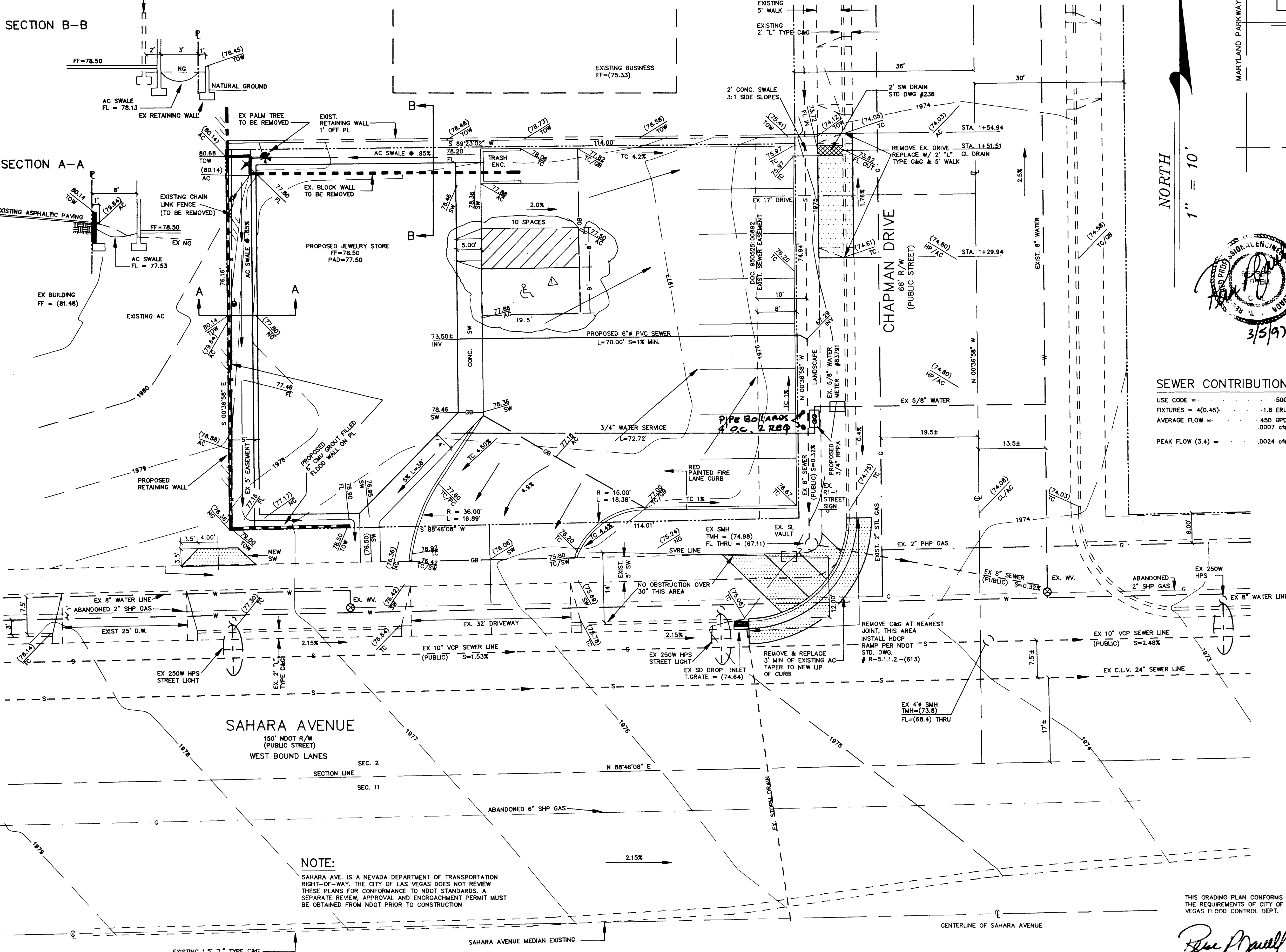
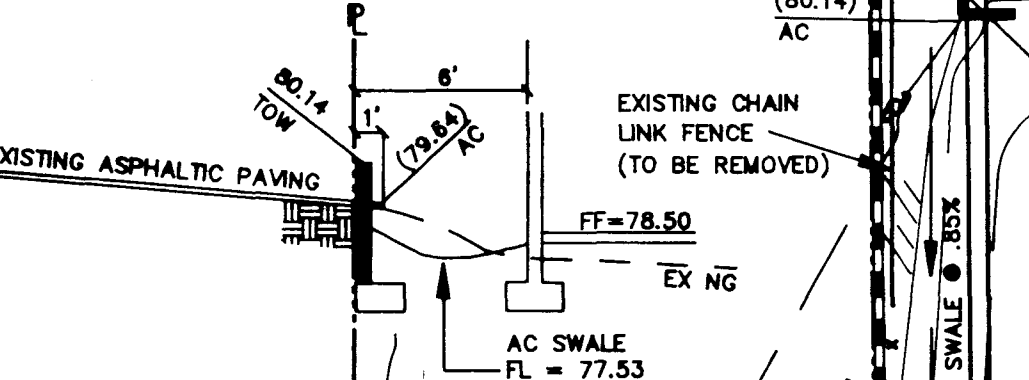
GRAPHIC SCALE



SECTION B-B



SECTION A-A



VICINITY MAP N.T.S.

GRADING NOTES:

1. ALL GRADING AND PAVING TO BE IN STRICT ACCORDANCE WITH ETEC TESTING LABORATORIES, INC. SOILS REPORT No. 41136 DATED APRIL 4, 1994 (REVISED AND REISSUED JULY 11, 1995)
2. PAVING SECTION TO BE A MINIMUM OF TWO AND A HALF INCHES (2 1/2") ASPHALT ON A MINIMUM OF SIX INCHES (6") TYPE II.

LEGEND

— C —	CENTERLINE STREET
— P —	PROPERTY LINE
— S —	PROPOSED CURB & GUTTER
— E —	EXISTING CURB & GUTTER
— S —	EXISTING SEWER
— W —	PROPOSED WATER LINE
— E —	EXISTING WATER LINE
— S —	EXIST. STORM DRAIN
— OHP —	EX. OVERHEAD POWER LINE
— G —	EXISTING GAS LINE
— B —	PROPOSED BLOCK WALL
— E —	EXISTING BLOCK WALL
— R —	EXISTING RETAINING WALL
— AC —	ASPHALTIC CONCRETE
— C —	BACK OF WALK
— C —	CURB & GUTTER
— C —	CENTERLINE
— EX —	EXISTING
— FH —	FIRE HYDRANT
— FL —	FLOW LINE
— HP —	HIGH POINT
— NG —	NATURAL GROUND
— SMH —	SEWER MANHOLE
— SW —	SIDEWALK
— TC —	TOP OF CURB
— TMH —	TOP OF MANHOLE
— TOW —	TOP OF WALL
— WV —	WATER VALVE
— 1.00 —	PROPOSED GRADE
— (1.00) —	EXISTING GRADE
— S —	EXISTING STREET SIGN
— S —	STREET LIGHT AS SHOWN

SEWER CONTRIBUTION

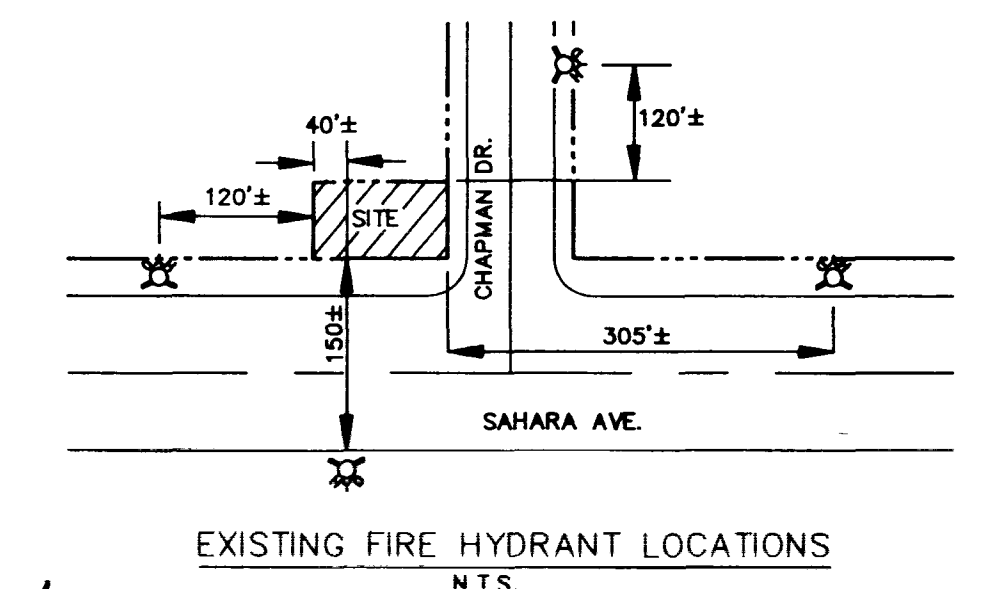
USE CODE —	500
FIXTURES = 4(0.45)	1.8 ERU
AVERAGE FLOW —	450 GPD
	0.007 cfs
PEAK FLOW (3.4) —	0.024 cfs

BUILDING DATA

FRIED JEWELRY STORE
TYPE V-NR
USE = STORE
NON SPRINKLERED
ONE FLOOR
TOTAL SQ. FT. = 2,600 SQ. FT.

SITE DATA

LOT SIZE 8613 SQ. FT.
BUILDING SIZE 2600 SQ. FT.
LOT COVERAGE 30%
PARKING REQUIRED 6 SPACES
PARKING PROVIDED 12 SPACES



THIS GRADING PLAN CONFORMS WITH THE REQUIREMENTS OF CITY OF LAS VEGAS FLOOD CONTROL DEPT.
Reese P. Jarrell 3/5/97
PE 7887

FIRE FLOW: 1500 GPM AT 20 PSI RESIDUAL

