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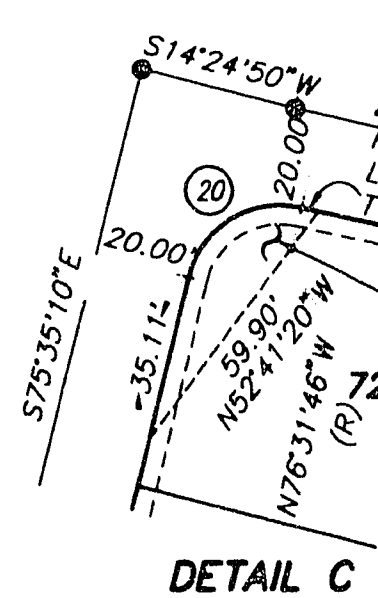
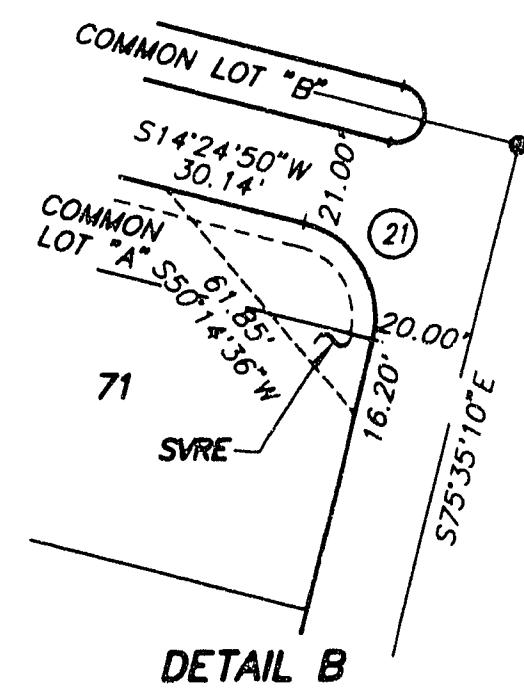
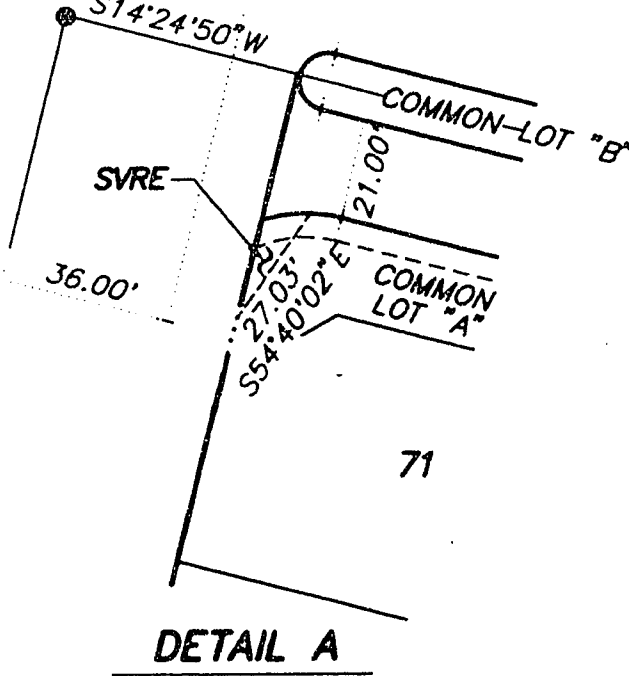
FINAL MAP OF
MOUNTAIN GATE WEST

A PLANNED COMMUNITY AND COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF A PORTION OF SECTION 24, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M AND
SECTION 19, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND

- SET 5/8" REBAR AND ALUM. CAP STAMPED P.L.S. 9390 W/ ALUMINUM CAP TIES IN TOP OF CURB (UNLESS OTHERWISE NOTED)
- REFERENCE POINT ONLY NOT FOUND OR SET
- 30 LOT NUMBER
TOTAL LOTS IN SUBDIVISION = 160
TOTAL COMMON LOTS = 3
- ⬡ BLOCK NUMBER
- ① CURVE NUMBER
- L1 LINE SEGMENT NUMBER
- SVRE SIGHT VISIBILITY RESTRICTION EASEMENT
- SUBDIVISION BOUNDARY LINE
- STREET CENTERLINE
- 4.00' WIDE PUBLIC SIDEWALK EASEMENT

COMMON LOT "M"
"SUMMERLIN VILLAGE 7"
THE TRAILS UNIT NO. 3
BOOK 63, PAGE 79 OF PLATS

CURVE	DELTA	RADIUS	LENGTH	TANGENT
1	00°35'41"	9340.00'	422.98'	244.29'
2	89°45'19"	20.00'	31.33'	19.91'
3	01°33'30"	720.00'	19.58'	9.79'
4	101°56'15"	20.00'	35.58'	24.67'
5	72°24'46"	20.00'	25.28'	14.64'
6	00°55'52"	1148.00'	18.66'	9.33'
7	01°30'47"	1044.00'	22.57'	13.79'
8	00°55'52"	1044.00'	16.97'	8.48'
9	238°47'42"	40.50'	168.79'	12.41'
10	01°30'47"	940.00'	24.82'	12.41'
11	99°08'05"	40.50'	70.07'	47.53'
12	35°30'21"	50.00'	30.98'	16.01'
13	53°58'53"	50.00'	47.11'	25.47'
14	18°28'33"	50.00'	16.12'	8.13'
15	04°10'00"	1062.00'	72.23'	38.63'
16	04°10'00"	1042.00'	75.78'	37.90'
17	101°20'16"	20.00'	35.37'	24.41'
18	88°42'02"	20.00'	30.96'	19.55'
19	02°11'16"	480.00'	18.33'	9.17'
20	89°03'24"	20.00'	31.09'	19.67'
21	90°00'00"	20.00'	31.42'	20.00'
22	10°03'38"	390.00'	66.72'	33.45'
23	110°01'44"	360.00'	56.00'	34.68'
24	321°35'51"	30.00'	16.88'	8.67'
25	180°00'00"	6.00'	18.85'	---
26	09°49'29"	340.00'	58.30'	29.22'
27	91°10'45"	20.00'	31.83'	20.42'

LINE	BEARING	DISTANCE
L1	N88°46'51"E	14.58'
L2	N22°22'29"E	17.60'
L3	N28°27'30"E	21.05'
L4	S60°49'08"E	20.50'
L5	S30°35'10"E	28.28'
L6	S75°35'10"E	31.62'

NOTE:

FOR SIDE PROPERTY LINES, SET CONCRETE NAIL AND BRASS TAG STAMPED P.L.S. 9390 IN THE REAR WALL ON THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT AND SIDE OF THE LOT ON THE PROPERTY LINE PROJECTED.

VEHICULAR ACCESS TO TRAILWOOD DRIVE AND CRESTDALE LANE ACROSS COMMON LOTS "L" AND "M" FROM ADJUTING LOTS IS PROHIBITED.

SHEET 4 OF 5

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