

DATE: 6/19/06

REVISION: 1/24/06

REVISION: 2/21/06

REVISION: 3/21/06

REVISION: 4/21/06

REVISION: 5/21/06

REVISION: 6/21/06

REVISION: 7/21/06

REVISION: 8/21/06

REVISION: 9/21/06

REVISION: 10/21/06

REVISION: 11/21/06

REVISION: 12/21/06

REVISION: 1/21/07

REVISION: 2/21/07

REVISION: 3/21/07

REVISION: 4/21/07

REVISION: 5/21/07

REVISION: 6/21/07

REVISION: 7/21/07

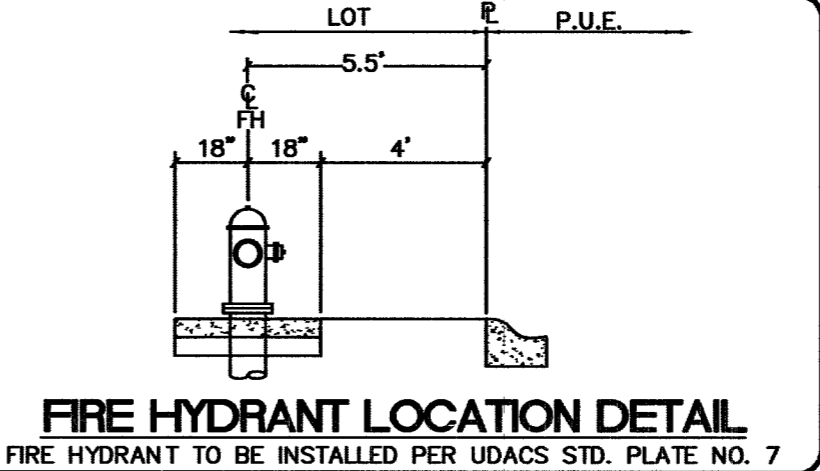
REVISION: 8/21/07

REVISION: 9/21/07

REVISION: 10/21/07

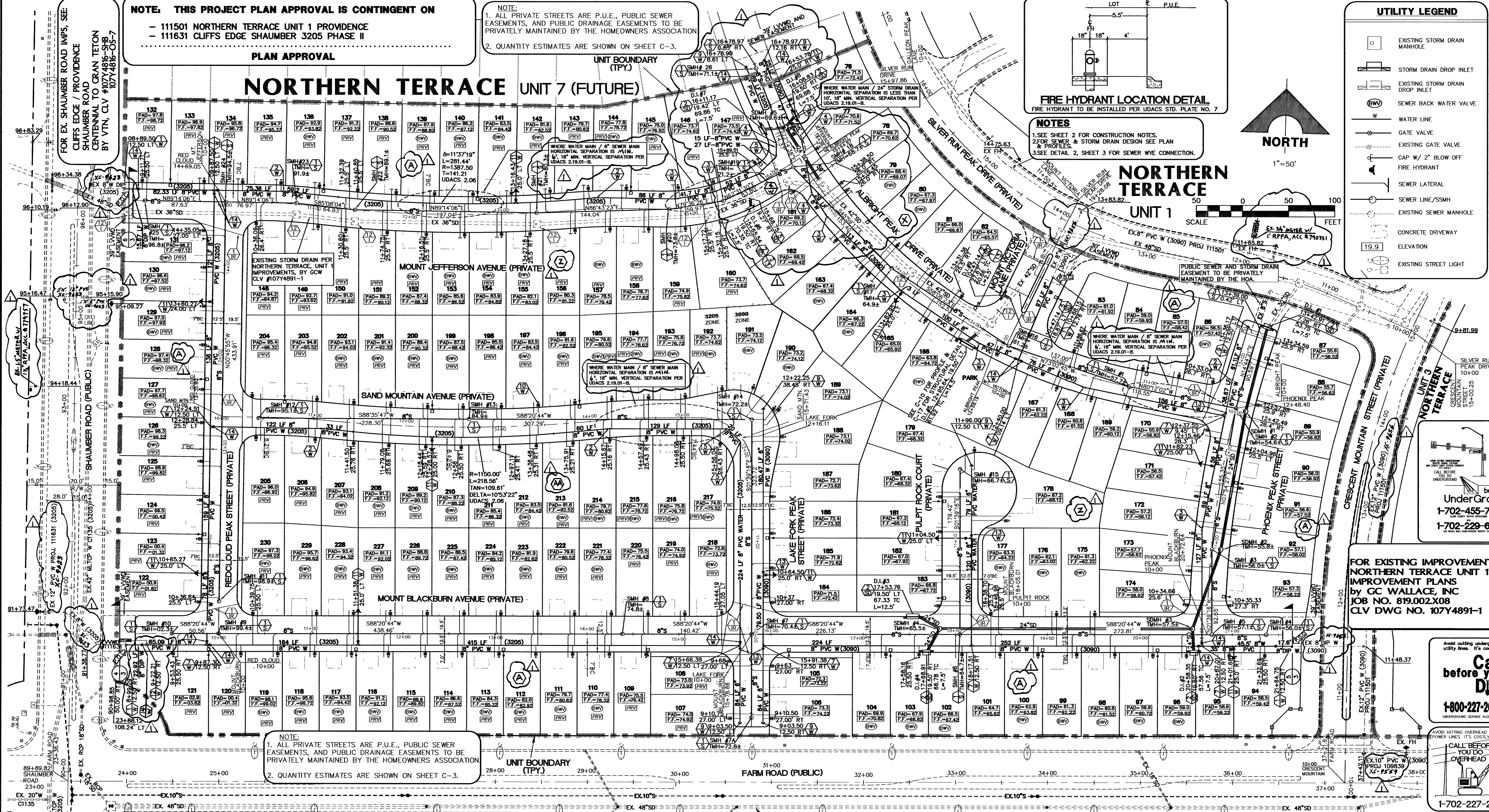
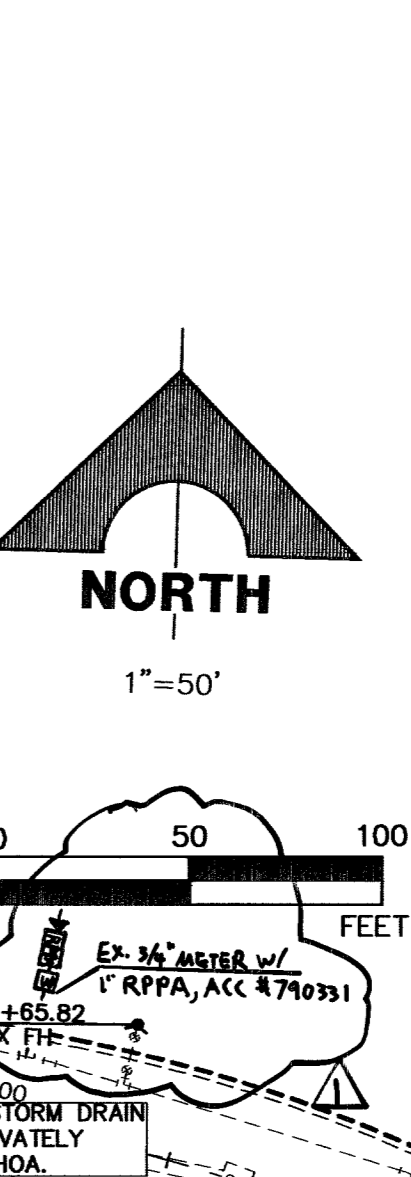
UTILITY LEGEND

	EXISTING STORM DRAIN MANHOLE
	STORM DRAIN DROP INLET
	EXISTING STORM DRAIN DROP INLET
	SEWER BACK WATER VALVE
	WATER LINE
	GATE VALVE
	EXISTING GATE VALVE
	CAP W/ 2" BLOW OFF
	FIRE HYDRANT
	SEWER LATERAL
	SEWER LINE/SSMH
	EXISTING SEWER MANHOLE
	CONCRETE DRIVEWAY
	ELEVATION
	EXISTING STREET LIGHT



NOTES

- SEE SHEET 2 FOR CONSTRUCTION NOTES.
- FOR SEWER & STORM DRAIN DESIGN SEE PLAN & PROFILES.
- SEE DETAIL 2, SHEET 3 FOR SEWER WYE CONNECTION.



FOR EX. SHAMBER ROAD IMP'S, SEE CLIFFS EDGE / PROVIDENCE SHAMBER ROAD CENTENNIAL TO GRAN TETON BY VTN, CLV #1074816-OS-7

NOTE: THIS PROJECT PLAN APPROVAL IS CONTINGENT ON

- 111501 NORTHERN TERRACE UNIT 1 PROVIDENCE
- 111631 CLIFFS EDGE SHAMBER 3205 PHASE II

PLAN APPROVAL

NOTE:

- ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- QUANTITY ESTIMATES ARE SHOWN ON SHEET C-3.

Call before you Dig.

1-702-455-7511
1-702-229-6611

FOR EXISTING IMPROVEMENTS SEE NORTHERN TERRACE UNIT 1 IMPROVEMENT PLANS BY GC WALLACE, INC JOB NO. 819.002.X08 CLV DWG NO. 1074891-1

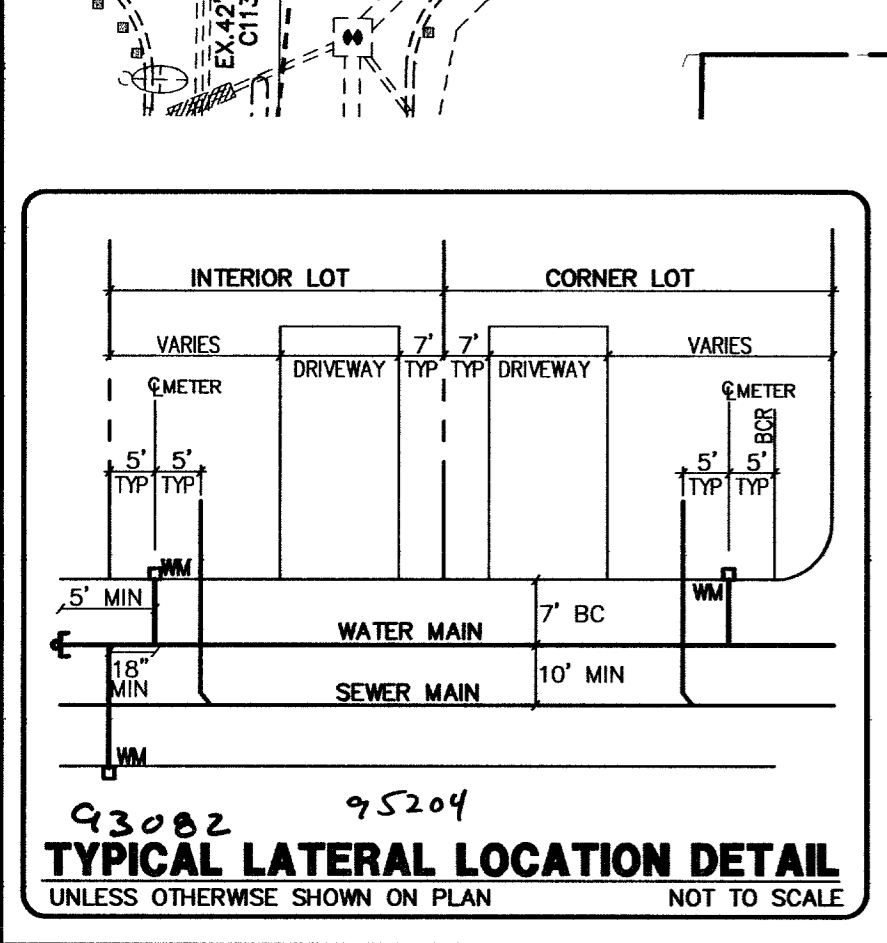
Call before you Dig.

1-800-227-2600

AVOID HITTING OVERHEAD UTILITY LINES. IT'S COSTLY.

CALL BEFORE YOU DO OVERHEAD

1-702-227-2929



93082 95204
UNLESS OTHERWISE SHOWN ON PLAN NOT TO SCALE

NOTE:

- ALL SEWER/STORM DRAINS CROSSING WATER LINES MUST CONFORM TO SECTION 2.19 OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS) FOR WATER AND STORM MAIN CROSSINGS AND CLEARANCES.
- INSTALL PIPELINE MARKER BALLS IN TRENCH ABOVE EACH HORIZONTAL ELBOW FITTINGS, PER UDACS PLATE NO. 27.
- ADJUST EXISTING WATER VALVE BOX TO FINISHED GRADE PER UDACS PLATE NO. 8. VALVE SHALL BE ACCESSIBLE AT ALL TIMES.

FIRE FLOW CALCULATIONS

FIRE FLOW REQUIREMENT IS 1,500 GALLONS PER MINUTE AT 20 PSI.	
SQUARE FOOTAGE	< 3,600 SF
LARGEST AREA BETWEEN 4-HOUR AREA SEPARATION WALLS	N/A
BUILDING HEIGHT	35 FEET MAX.
NUMBER OF STORIES	2
TYPE OF CONSTRUCTION	V-NR
OCCUPANCY	SINGLE FAMILY
FULL AUTOMATIC FIRE SPRINKLER SYSTEM	NO

EASEMENT WITH TREES, SHRUBS, DECORATIVE ROCKS, BLOCK WALL OR FENCE

TREES AND SHRUBS, OR DECORATIVE ROCKS, AND ANY BLOCK WALL OR OTHER FENCE MATERIAL, SHALL BE DESIGNED AND CONSTRUCTED AROUND THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS TO THE VAULT(S), BACKFLOW ASSEMBLIES, AND PIPING FROM THE ADJACENT RIGHT-OF-WAY.

CONDITIONAL APPROVAL OF VALVED OUTLET (6" AND LARGER)

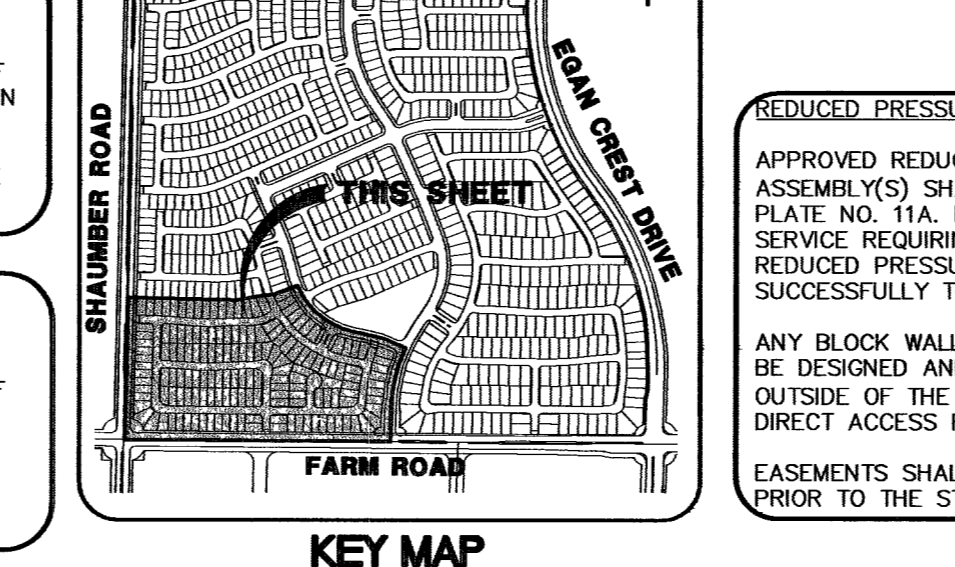
THE WATER PLANS SHOW ONE OR MORE VALVED OUTLETS EXTENDING OUT OF PAVED AREAS. INSTALLATIONS OF THESE OUTLETS IS ACCEPTABLE; HOWEVER, IF THE OUTLETS ARE INCORRECTLY LOCATED OR NOT USED FOR ANY REASON WHEN THE PROPERTY IS ACTUALLY DEVELOPED, THE DEVELOPER SHALL ABANDON THE OUTLETS AT THE CONNECTION TO THE ACTIVE MAIN IN ACCORDANCE WITH THE DISTRICT'S STANDARDS, AND AT THE DEVELOPER'S EXPENSE. APPROVAL OF THE VALVED OUTLET DOES NOT PROVIDE OR IMPLY A WATER COMMITMENT.

WATER MAIN JOINT DEFLECTION (PVC, 4"-24")

PVC PIPE SHALL BE DEFLECTED AT THE JOINT ONLY. THE MAXIMUM ALLOWABLE DEFLECTION SHALL BE ONE (1) DEGREE PER JOINT WITH A MINIMUM RADIUS OF CURVATURE OF 1,150 FEET, PER UDACS 2.06.01 AND 2.06.02.

FOR CHANGES IN DIRECTION EXCEEDING THE MAXIMUM ALLOWABLE JOINT DEFLECTION, FITTINGS SHALL BE USED.

FOR EX. FARM ROAD IMP'S, SEE CLIFFS EDGE / PROVIDENCE FARM ROAD PULI ROAD TO HUALAPAI WAY BY VTN, CLV #1074816-FRD #1074816-OS-7



LOTS: 107-160, & 192-230

This property may have static water pressure in excess of 80 psi. The Uniform Plumbing Code requires that individual, on-site (private), pressure reducing valves be installed whenever the pressure exceeds 80 psi. PRV's are the Developer's responsibility, and will not be inspected or included in the acceptance of LVVWD's facilities.

REDUCED PRESSURE PRINCIPLE ASSEMBLY (1) 1-1/2"

APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY(S) SHALL BE INSTALLED PER THE UDACS PLATE NO. 11A. NO WATER SHALL BE TAKEN FROM A SERVICE REQUIRING BACKFLOW PREVENTION UNTIL THE REDUCED PRESSURE ASSEMBLY HAS BEEN SUCCESSFULLY TESTED BY THE LVVWD.

ANY BLOCK WALL OR OTHER FENCE MATERIAL SHALL BE DESIGNED AND CONSTRUCTED AROUND THE OUTSIDE OF THE EASEMENT(S) TO ALLOW THE DISTRICT DIRECT ACCESS FROM THE ADJACENT RIGHT-OF-WAY.

EASEMENTS SHALL BE CLEARLY MARKED OR STAKED PRIOR TO THE START OF CONSTRUCTION.

NOTE:

SEWER AVERAGE DAILY FLOWS = 155 LOTS X 250 GPD/LOT = 38,750 GPD
PEAK FLOWS = 3.4 X 38,750 = 131,750 GPD

APPROVED FOR CONSTRUCTION

[Signature] 6/19/06
CITY OF LAS VEGAS FIRE DEPARTMENT DATE

APPROVAL: LVVWD NO. 111600
[Signature] 7-25-06
LAS VEGAS VALLEY WATER DISTRICT DATE

CLV DRAWING NO. 1074891-2

MERITAGE HOMES
NORTHERN TERRACE - UNIT 2
MASTER UTILITY PLAN
JOB NO. 819.002.X09
DRAWING C-4
4 OF 17 SHEETS