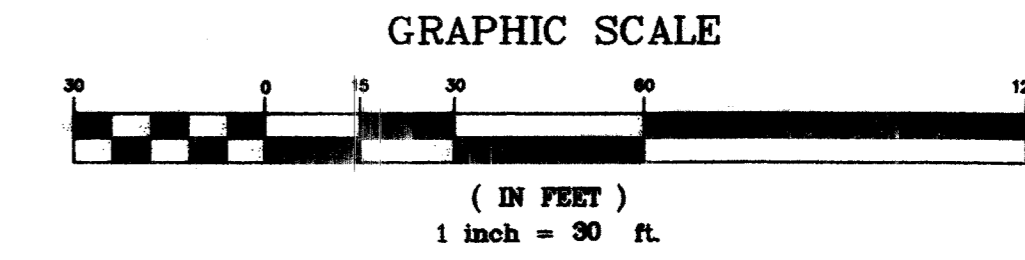
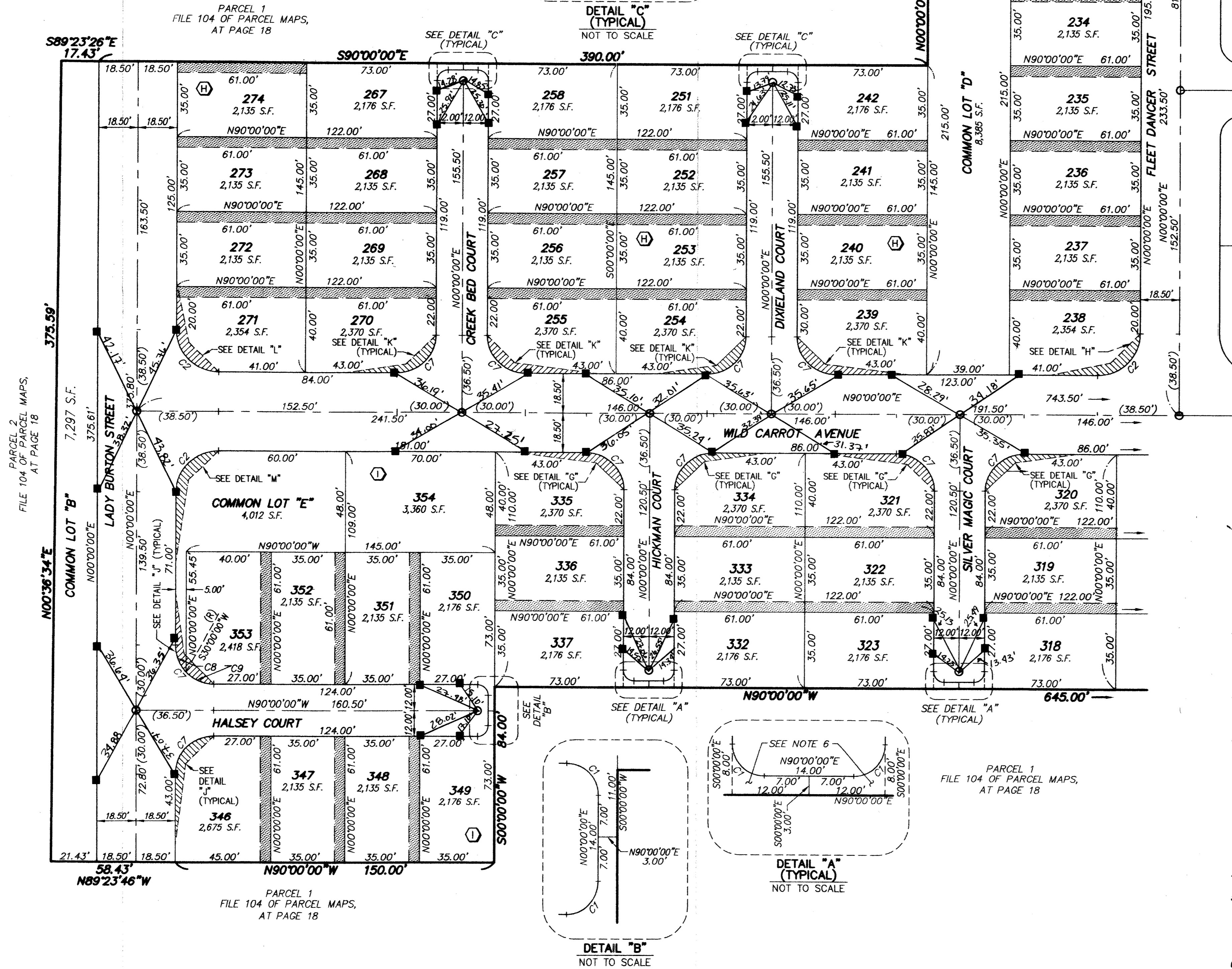
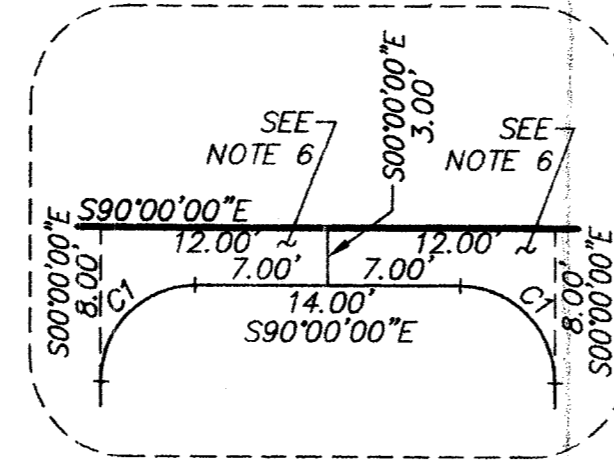


FINAL MAP OF MAYFIELD UNIT 7

(A COMMON INTEREST COMMUNITY)
A PORTION OF PARCEL 1 OF AMPARCEL MAP: FILE 104, PAGE 18, LOCATED WITHIN
THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 3, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M.,
CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LINE TABLE		
LINE	BEARING	LENGTH
L1	S00°00'00"E	14.00'
L2	N90°00'00"E	37.00'
L3	S00°13'13"W	5.00'

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	90°00'00"	5.00'	7.85'	5.00'
C2	90°00'00"	20.00'	31.42'	20.00'
C3	90°13'13"	20.00'	31.49'	20.08'
C4	90°23'01"	20.00'	31.55'	20.13'
C5	77°37'56"	20.00'	27.10'	16.09'
C6	12°35'17"	20.00'	4.39'	2.21'
C7	90°00'00"	18.00'	28.27'	18.00'
C8	43°45'42"	18.00'	13.74'	7.23'
C9	46°14'18"	18.00'	14.53'	7.68'



- LEGEND**
- BOUNDARY LINE
 - RIGHT-OF-WAY LINE
 - STREET CENTERLINE
 - LOT LINE
 - ABUTTING PARCEL LINE
 - 5' PRIVATE ACCESS EASEMENT (SEE NOTE 5)
 - ▲ FOUND MONUMENT AS NOTED
 - SET 5/8" REBAR AND ALUMINUM CAP "PLS 14195" /W REFERENCE MONUMENTS
 - 5/8" REBAR AND ALUMINUM CAP "PLS 14195" /W REFERENCE MONUMENTS IN TOP OF CURB PER BOOK 109 OF PLATS, AT PAGE 623
 - 222 LOT NUMBER (RESIDENTIAL LOTS = 82) (COMMON LOTS = 5)
 - Ⓢ BLOCK LETTER
 - C1 CURVE NUMBER
 - L1 LINE NUMBER
 - (R) RADIAL LINE
 - S.F. SQUARE FEET
 - DOC. No. DOCUMENT NUMBER
 - (PROD) PRODUCED LINE
 - SIGHT VISIBILITY RESTRICTION ZONES (SEE NOTE 2)
 - SET REFERENCE MONUMENT "VTN PLS 14195" IN TOP OF CURB

- NOTES**
- ALL REAR LOT CORNERS SHALL BE SET WITH A NAIL AND BRASS TAG "PLS 12469" ON BLOCK WALLS AND ALL FRONT OR SIDE CORNERS ADJOINING PUBLIC RIGHT-OF-WAY SHALL BE MARKED BY THE SAW CUTTING OF THE BACK OF CURBS ON THE PROLONGATION OF THE PROPERTY LINES.
 - SIGHT VISIBILITY RESTRICTION ZONES. NO LANDSCAPING OR SIGHT RESTRICTING IMPROVEMENTS (SUCH AS WALLS/FENCES) TALLER THAN 24 INCHES ALLOWED WITHIN THE SHADED AREAS. THESE AREAS SHALL BE PRIVATELY MAINTAINED.
 - THE FOLLOWING INTERIOR STREETS AND DRIVES ARE PRIVATE. PUBLIC DRAINAGE EASEMENTS TO BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION, PUBLIC UTILITY EASEMENTS AND CITY OF LAS VEGAS SEWER EASEMENTS.

PERFECT DRIFT STREET WILD CARROT AVENUE GLORIOUS LINDA COURT FLEET DANCER STREET BEAVERTON COURT	SILVER MAGIC COURT DIXIELAND COURT HICKMAN COURT CREEK BED COURT LADY BURTON STREET HALSEY COURT
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 - FOR SIGHT VISIBILITY RESTRICTION ZONE DETAILS, SEE SHEET 5 OF 5.
 - THE LOTS WHICH CONTAIN THE 5 FOOT PRIVATE ACCESS EASEMENT (PAE) AS SHOWN HEREON, SHALL BE THE SERVIENT TENEMENT, AND THE LOTS ADJACENT TO SAID EASEMENT SHALL BE THE DOMINATE TENEMENT AND SHALL HAVE FULL USE AND BENEFIT THEREOF. THE PAE IS A NON-BUILDABLE ACCESS EASEMENT OVER THAT AREA AS SHOWN ON THE MAP, EXCLUDING GRANITOR'S EAVES.
 - EMERGENCY ACCESS EASMENT HEREBY GRANTED.

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