

These plans and the design criteria contained within these plans are based upon the information presently known by the engineer and intended solely as a general guideline for construction. All construction shall be in conformance with all applicable local, state and federal statutes, laws, codes, regulations and ordinances, including but not limited to the Federal Fair Housing Amendments Act, Americans With Disabilities Act, the Architectural Barriers Act and any applicable uniform standards, specifications or drawings. The person or entity performing the construction shall be solely responsible to make sure construction is in conformance with all local, state and federal statutes, laws, codes, regulations, standards, guidelines and ordinances and further, is in conformance with any applicable design criteria, including but not limited to soils reports, traffic studies, geotechnical reports, architectural plans and specifications, drainage plans or studies and any other criteria, standards or requirements listed in the plans or the general notes related to these plans or provided by anyone in reference to this project.

NOTE: CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

FIRE FLOW DATA

THE FIRE FLOW REQUIREMENTS IS 3,000 GPM AT 20 PSI RESIDUAL PRESSURE.
 BASED ON: GEORGE F. TIBSHERANY ARCHITECTURE PLANS
 SQUARE FOOTAGE: 11,225 SF
 LARGEST AREA BETWEEN 4-HOUR AREA SEPERATION WALLS: N/A
 BUILDING HEIGHT: 35 FEET
 NUMBER OF STORIES: 2 FLOORS
 TYPE OF CONSTRUCTION: V-N
 OCCUPANCY: R1
 FULL AUTOMATIC FIRE SPRINKLER SYSTEM: N/A

NOTE: SEE PAGE C3 FOR NOTES

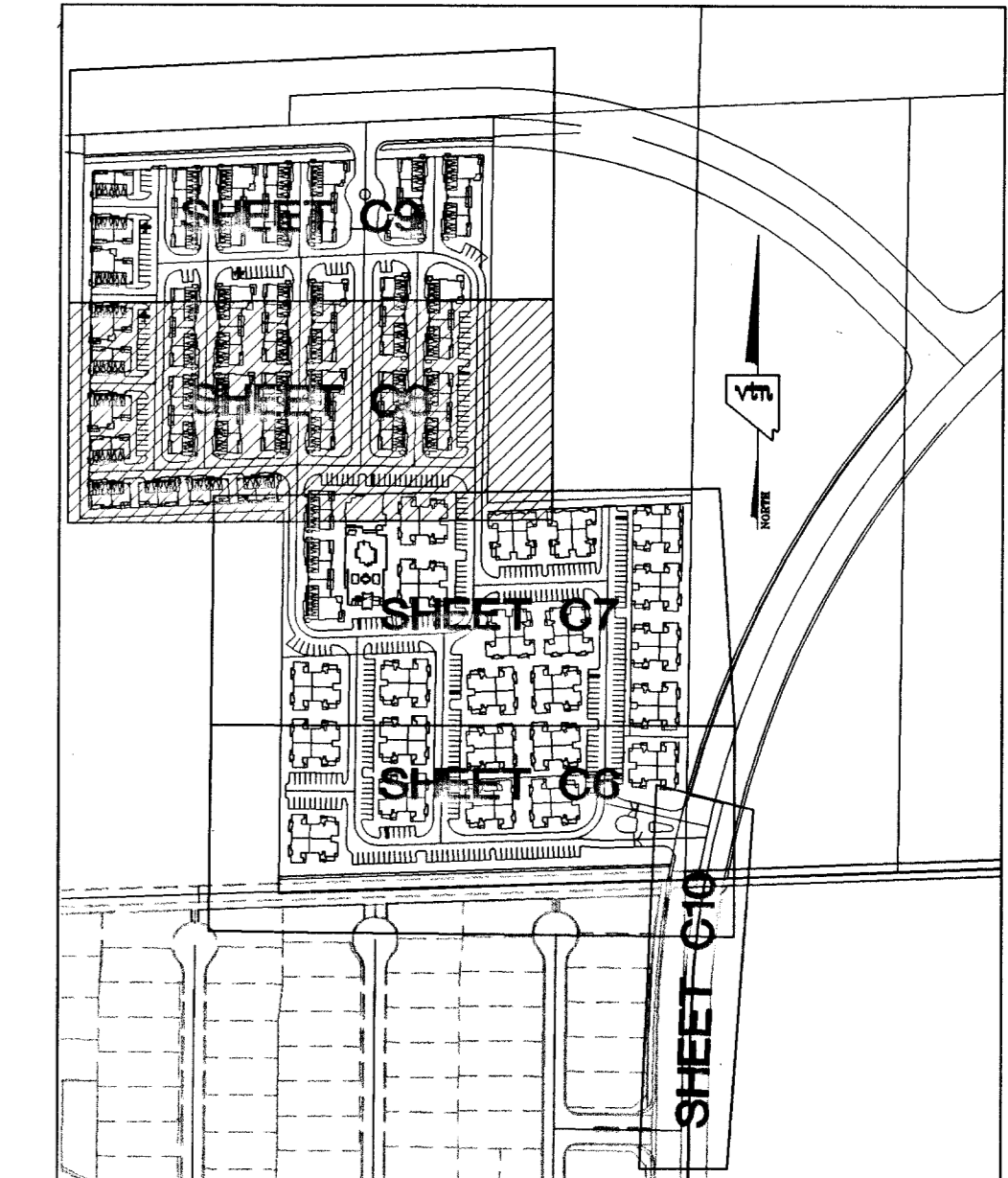
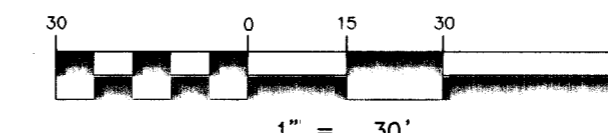
CLEAN OUT NOTES

1. ALL LATERALS ARE 6".
2. ALL CLEAN OUT CAPS ARE TO BE TRAFFIC RATED.

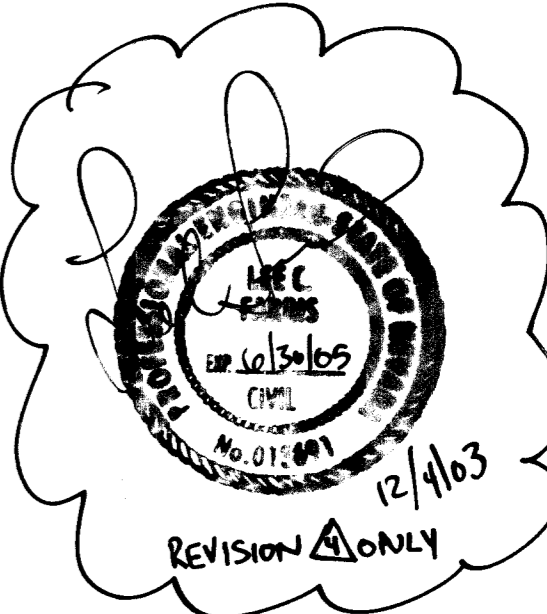
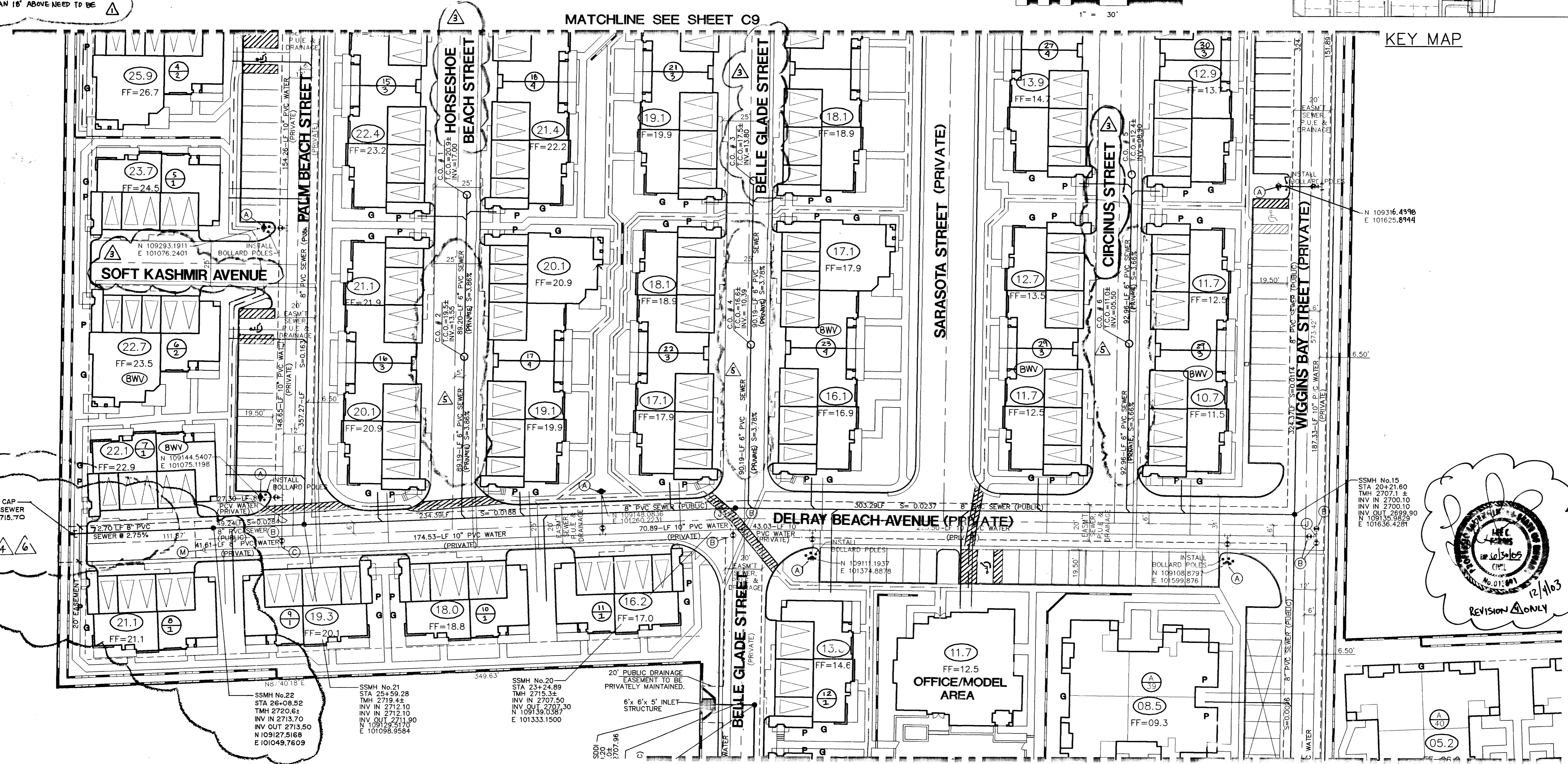
ALL SEWER LOCATED OUTSIDE OF ANY PUBLIC RIGHT-OF-WAY AND ANY PUBLIC SEWER EASEMENT IS PRIVATE SEWER UP.

FOR ALL WATER MAINS/LATERALS THAT CROSS UNDER SEWER MAINS/LATERALS OR WITH LESS THAN 18" ABOVE NEED TO BE BUILT PER UDAC § 2.11.02B5A.

GRAPHIC SCALE



KEY MAP



Avoid overhead power line contact
 Call before you OVERHEAD 1-702-593-6111
 Avoid cutting underground utility lines. It's costly.
 Call before you Dig 1-800-227-2600

BENCHMARK
 PROJECT VERTICAL DATUM: NAVD88
 CLARK COUNTY BENCHMARK # 1000-854
 NAVD88 ELEV: 792.992 METERS (2601.67 FEET)
 (CONVERSION FACTOR 3937/1200 = US SURVEY FEET)
 DESCRIPTION:
 RIVET AND SQUARE ALUMINUM IN A CONCRETE MONUMENT 50 FEET NORTH AND 25 FEET WEST OF GRAND CANYON DRIVE AND ALEXANDER ROAD.
BASIS OF BEARINGS:
 NORTH 00 42'58" EAST, BEING THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN FILE 81 OF SURVEYS, AT PAGE 44.

MATCHLINE SEE SHEET C7

APPROVAL:

LAS VEGAS VALLEY WATER DISTRICT DATE 4/17/02
 CITY OF LAS VEGAS FIRE MARSHAL DATE 4/11/02

NEVADA POWER COMPANY DATE
 NEVADA POWER COMPANY APPROVAL IS ONLY FOR THE PLACEMENT AND CLEARANCE OF STREET LIGHT AND SIGNAL LIGHT INSTALLATION, AND CLEARANCE OF STREET LIGHT AND SIGNAL LIGHT INSTALLATION.

7	8-21-04	EAC	REVISED STUD LENGTH BY 10'
6	5-21-04	ELR	DENSED 6" SEWER FROM PUBLIC TO PRIVATE
5	12-4-03	REF	ADDED 8" SEWER STUB AND 20' EASEMENT NE 1/4 12
4	4-10-02	NMG	REVISED STREET NAMES
3	4-10-02	NMG	REVISED FIRE PLAN & BUILDING SITE
2	3-24-02	MKD	REVISED FIRE PLAN & BUILDING SITE
1	2-19-02	MKD	REVISED NOTE C11 2/19/02
REV	DATE	BY	REVISION

WARMINGTON HOMES
 6787 WEST TROPICANA #20A
 LAS VEGAS, NV 89103
 (702)-248-8430

MASTER UTILITY PLAN

LONE MOUNTAIN CONDOMINIUMS
 2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
 PH. (702) 873-1550 FAX (702) 362-2597

nevada CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS

DRAWN BY: MJB MAY '01
 DESIGNED BY: MJB MAY '01
 CHECKED BY: MJB
 PROJECT NO: 5829
 SCALE: 1"=30' HORIZ. 1"=30' VERT. NA
 SHEET C3 OF 29 SHEETS
 DRAWING NO. 3074-4690