

These plans and the design criteria contained within these plans are based upon the information presently known by the engineer and intended solely as a general guideline for construction. All construction shall be in conformance with all applicable local, state and federal statutes, laws, codes, regulations and ordinances, including but not limited to the Federal Fair Housing Amendments Act, Americans with Disabilities Act, the Architectural Barriers Act and any applicable uniform standards, specifications or drawings. The person or entity performing the construction shall be solely responsible to make sure construction is in conformance with all local, state and federal statutes, laws, codes, regulations, standards, guidelines and ordinances and further, is in conformance with any applicable design criteria, including but not limited to soils reports, traffic studies, geotechnical reports, architectural plans and specifications, drainage plans or studies and any other criteria, standards or requirements listed in the plans or the general notes related to these plans or provided by anyone in reference to this project.

NOTE: CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES AND NOTIFY THE DESIGN ENGINEER IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

FIRE FLOW DATA

THE FIRE FLOW REQUIREMENTS IS 3,000 GPM AT 20 PSI RESIDUAL PRESSURE.
 BASED ON: GEORGE F. TIBSHERANY ARCHITECTURE PLANS
 SQUARE FOOTAGE: 11,225 SF
 LARGEST AREA BETWEEN 4-HOUR AREA SEPERATION WALLS: N/A
 BUILDING HEIGHT: 35 FEET
 NUMBER OF STORIES: 2 FLOORS
 TYPE OF CONSTRUCTION: V-M
 OCCUPANCY: R1
 FULL AUTOMATIC FIRE SPRINKLER SYSTEM: N/A

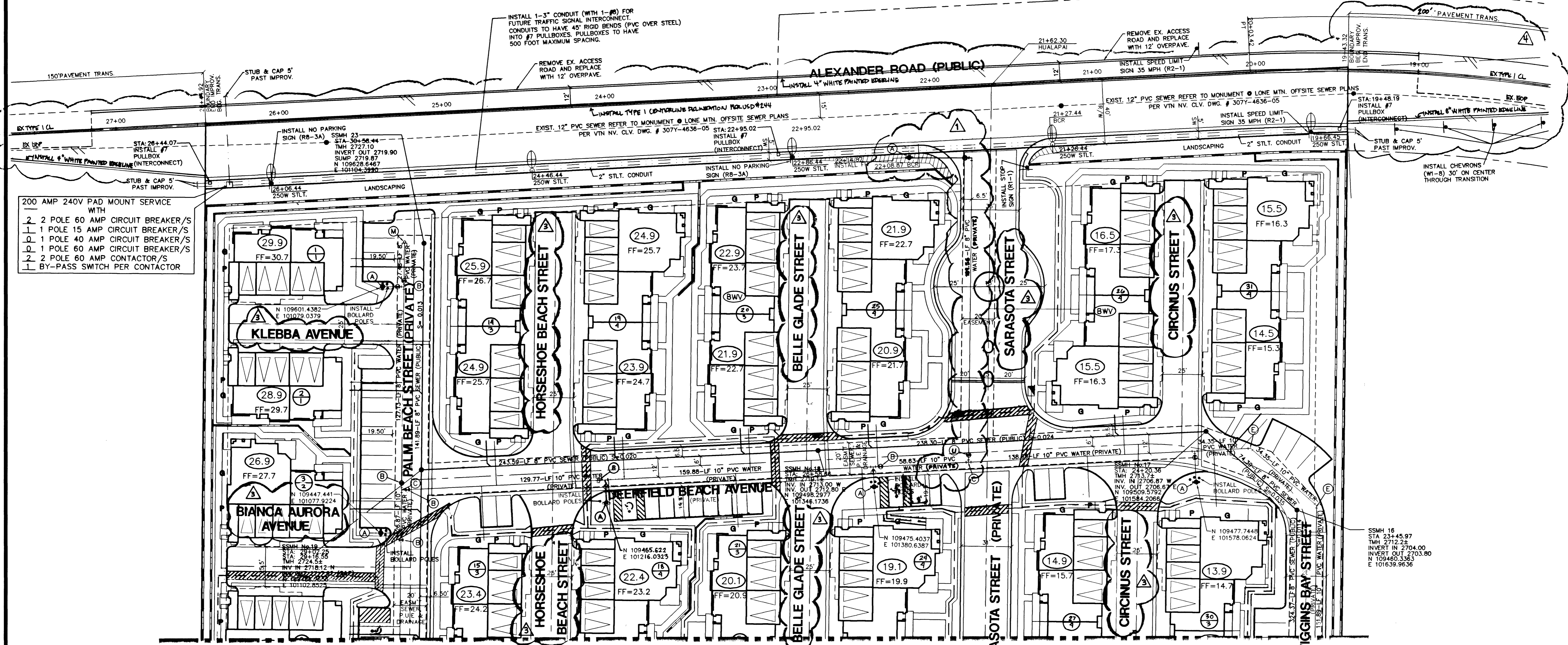
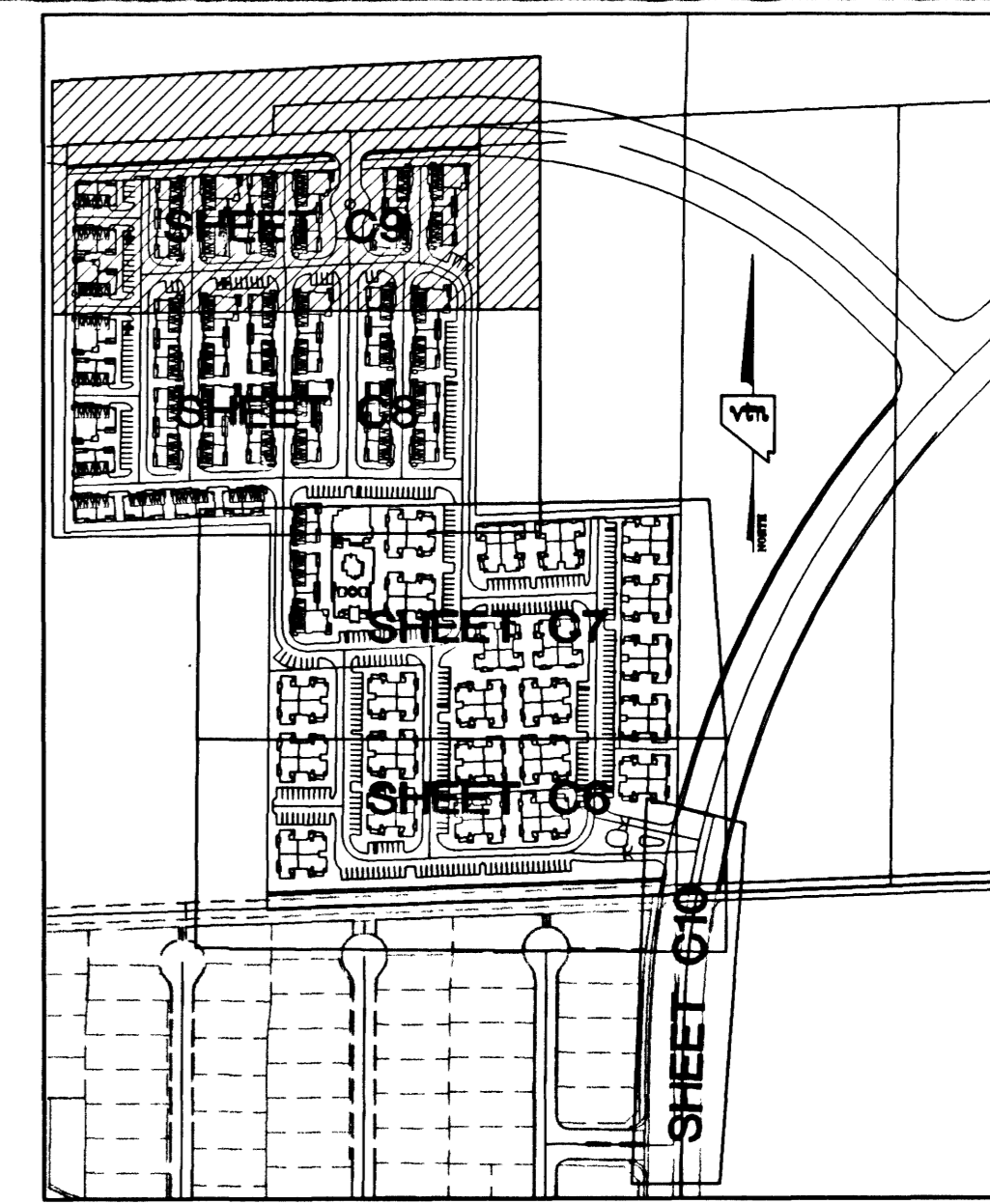
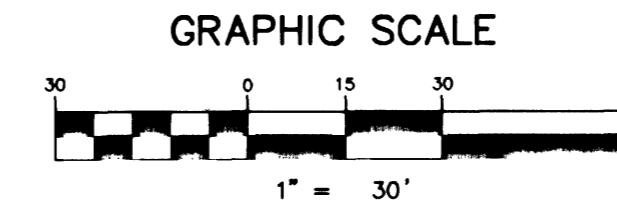
NOTE: SEE PAGE C3 FOR NOTES

NOTE:

PER THE REQUEST OF THE CITY OF LAS VEGAS FLOOD CONTROL, THE CENTERLINE GRADES FOR ALEXANDER ROAD WERE ADJUSTED TO MATCH CLARK COUNTY PUBLIC WORKS DEPARTMENT CURRENT ALEXANDER ROAD DESIGN.

ALL SEWER LOCATED OUTSIDE OF ANY PUBLIC RIGHT-OF-WAY AND ANY PUBLIC SEWER EASEMENT IS PRIVATE SEWER PER UPC.

WATER MAIN AND STORM DRAIN SEPARATION SHALL BE INSTALLED PER UDACS 2.04.04
 WATER MAIN AND SEWER LATERAL SEPARATION SHALL BE INSTALLED PER UDACS 2.19.05



- 200 AMP 240V PAD MOUNT SERVICE WITH
- 2 2 POLE 60 AMP CIRCUIT BREAKER/S
 - 1 1 POLE 15 AMP CIRCUIT BREAKER/S
 - 0 1 POLE 40 AMP CIRCUIT BREAKER/S
 - 0 1 POLE 60 AMP CIRCUIT BREAKER/S
 - 2 2 POLE 60 AMP CONTACTOR/S
 - 1 BY-PASS SWITCH PER CONTACTOR

BENCHMARK
 PROJECT VERTICAL DATUM: NAVD88
 CLARK COUNTY BENCHMARK # 1000-654
 NAVD88 ELEV: 792.992 METERS (2601.67 FEET)
 (CONVERSION FACTOR 3937/1200 = US SURVEY FEET)
 DESCRIPTION:
 RIVET AND SQUARE ALUMINUM IN A CONCRETE MONUMENT 50 FEET NORTH AND 25 FEET WEST OF GRAND CANYON DRIVE AND ALEXANDER ROAD.
BASIS OF BEARINGS:
 NORTH 00 42'58" EAST, BEING THE EAST LINE OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 12, TOWNSHIP 20 SOUTH, RANGE 59 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA IN FILE #1 OF SURVEYS, AT PAGE 44.

Call before you OVERHEAD 1-702-593-6111
 Call before you Dig 1-800-227-2600

APPROVAL:
 LAS VEGAS VALLEY WATER DISTRICT DATE 4/17/02
 CITY OF LAS VEGAS FIRE MARSHAL DATE 4/17/02

NEVADA POWER COMPANY DATE
 NEVADA POWER COMPANY APPROVAL IS ONLY FOR THE PLACEMENT AND CLEARANCE OF STREET LIGHT AND SIGNAL LIGHT INSTALLATION, AND CLEARANCE OF STREET LIGHT AND SIGNAL LIGHT INSTALLATION.

WARRINGTON HOMES
 6787 WEST TROPICANA #20A LAS VEGAS, NV 89103 (702)-246-9500

MASTER UTILITY & STREET LIGHT PLAN
LONE MOUNTAIN CONDOMINIUMS

DRAWN BY: M.B. MAY '01
 DESIGNED BY: M.B. MAY '01
 CHECKED BY: M.B. MAY '01
 PROJECT NO: 5829

SCALE: 1"=30' HORIZ. 1"=10' VERT.

PROFESSIONAL ENGINEER
 KENNETH W. LINDSON
 CIVIL ENGINEER
 10538 WYOMING
 1-1102

SHEET C9 OF 29 SHEETS
 DRAWING NO. 3074-4690

CITY OF LAS VEGAS
 2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148
 PH (702) 873-7500 FAX (702) 362-2597
 nevada CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS

REVISION
 1 2-22-02 M36 REVISED WL ON ALEXANDER SEWER MAIN
 2 4-10-02 M36 REVISED PAVE PLAN & BUILDING SIDE
 3 4-10-02 M36 REVISED STREET NAMES
 4 10-14-02 PTS ADD TYPING DETAILS
 5 10-14-02