

Call before you Dig  
1-800-227-2600

Call before you Overhead  
1-702-593-6111

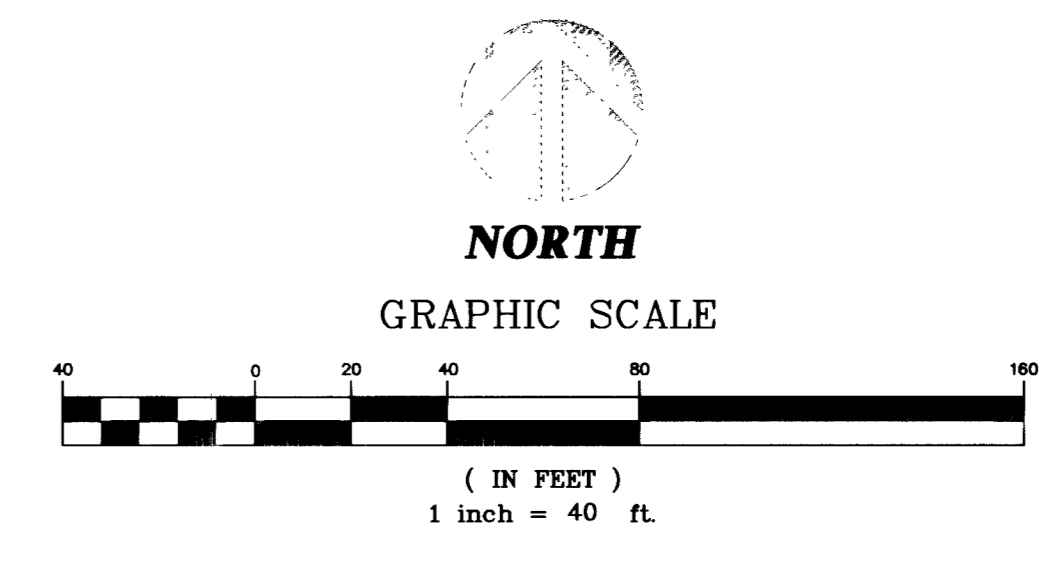
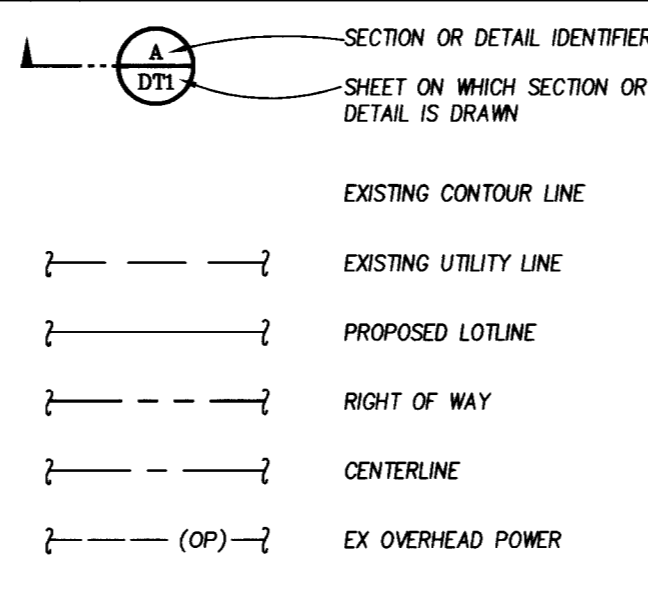
**BENCHMARK**  
Elev. 731.1038 meters (NAVD 88)  
CITY OF LAS VEGAS BENCHMARK No. 91V90 1W4  
A RIVET AND PLATE IN CONCRETE CYLINDER AT THE SOUTHEAST CORNER OF JONES BOULEVARD AND LOG CABIN WAY.  
MADV 88 ELEVATION = 2398.63 FEET

**BASIS OF BEARING**  
NORTH 00°46'27" WEST, BEING THE BEARING OF THE WEST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 1, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., AS SHOWN IN FILE 73 OF SURVEYS, PAGE 14, OFFICIAL RECORDS OF CLARK COUNTY, NEVADA.

**NOTE: (BENCHMARK)**  
SUBTRACT 0.12' FROM ALL ELEVATIONS AND CONTOURS SHOWN ON THESE PLANS TO CONFORM TO THE DATUM OF THE PUBLISHED CITY OF LAS VEGAS BENCHMARK SHOWN HEREON (NAVD 88 DATUM).

**LEGEND**

- A.C. ASPHALTIC CONCRETE
- ADJ. ADJACENT
- APPROX. APPROXIMATE
- B.C. BACK OF CURB
- BCR. BACK OF CURB RETURN
- BVC. BEGIN VERTICAL CURVE
- CONC. CONCRETE
- D.I. DROP INLET
- ELEC. ELECTRIC
- EP. EDGE OF PAVEMENT
- EVC. END VERTICAL CURVE
- EX. EXISTING
- FF. FINISHED FLOOR
- FG. FINISHED GRADE
- FL. FLOWLINE
- FP. FINISHED PAD
- G.B. GRADE BREAK
- O.H. OVERHEAD
- PC. POINT OF CURVATURE
- PI. POINT OF INTERSECTION
- PT. POINT OF TANGENCY
- R. PROPERTY LINE
- PROP. PROPOSED
- PVI. POINT OF VERTICAL INTERSECTION
- PVMT. PAVEMENT
- R/W. RIGHT-OF-WAY
- TC. TOP OF CURB
- V.G. VALLEY GUTTER



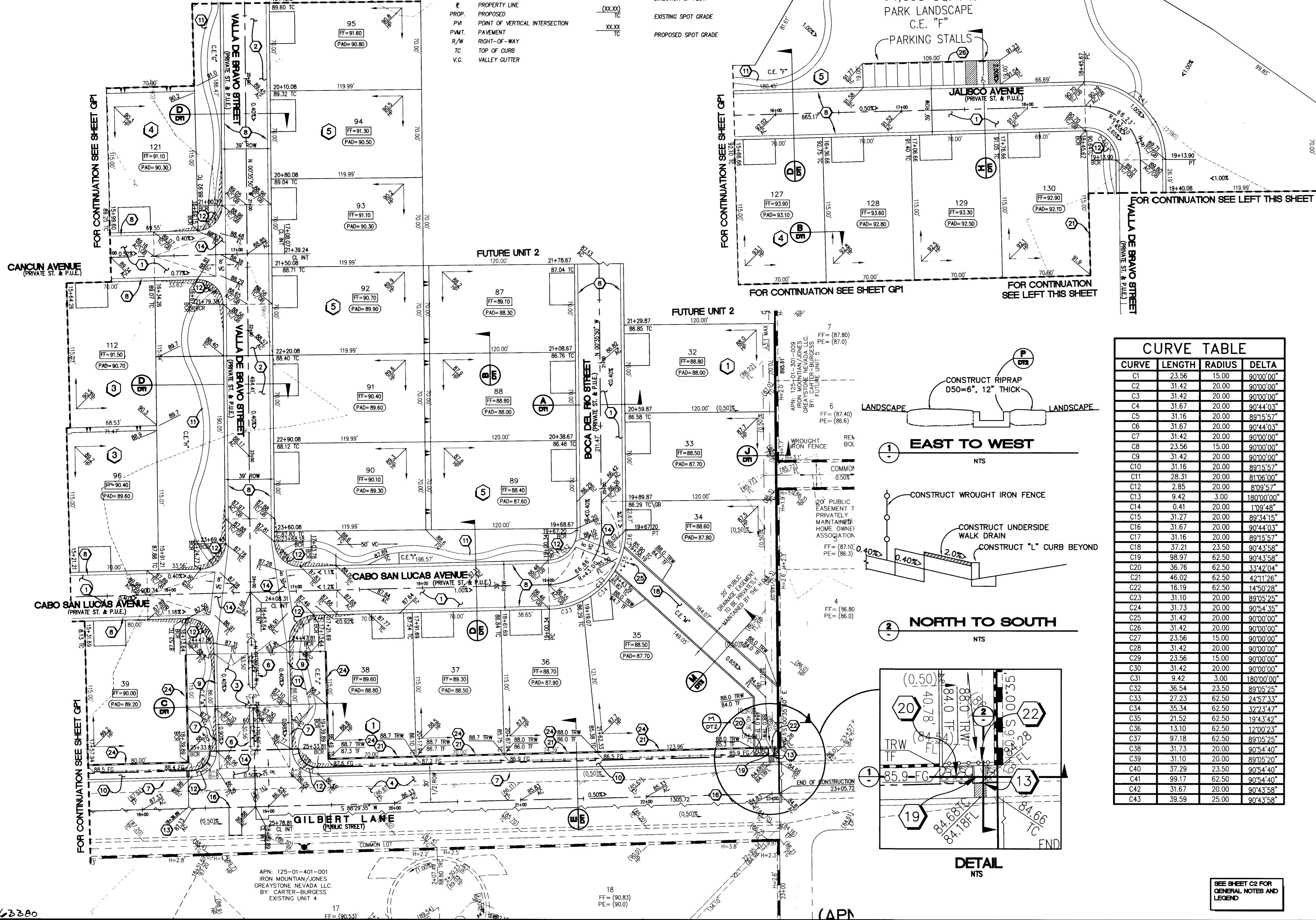
**S.V.R.Z. LEGEND**  
SIGHT VISIBILITY RESTRICTED ZONE

**TYPICAL WALL NOTES**  
THE SPECIFIED RETAINING WALLS ARE A STANDARD CITY OF LAS VEGAS RETAINING WALL DESIGN. THE CITY OF LAS VEGAS BUILDING DEPARTMENT WALL CONSTRUCTION PERMIT MUST BE OBTAINED PRIOR TO BUILDING WALLS.

FOR CONTINUATION SEE RIGHT THIS SHEET

FOR CONTINUATION SEE SHEET GP1

FOR CONTINUATION SEE LEFT THIS SHEET



**NOTE**  
ALL PRIVATE STREETS AND DRIVES ARE PUBLIC UTILITY EASEMENTS, CITY OF LAS VEGAS SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED.

**CONSTRUCTION NOTES**

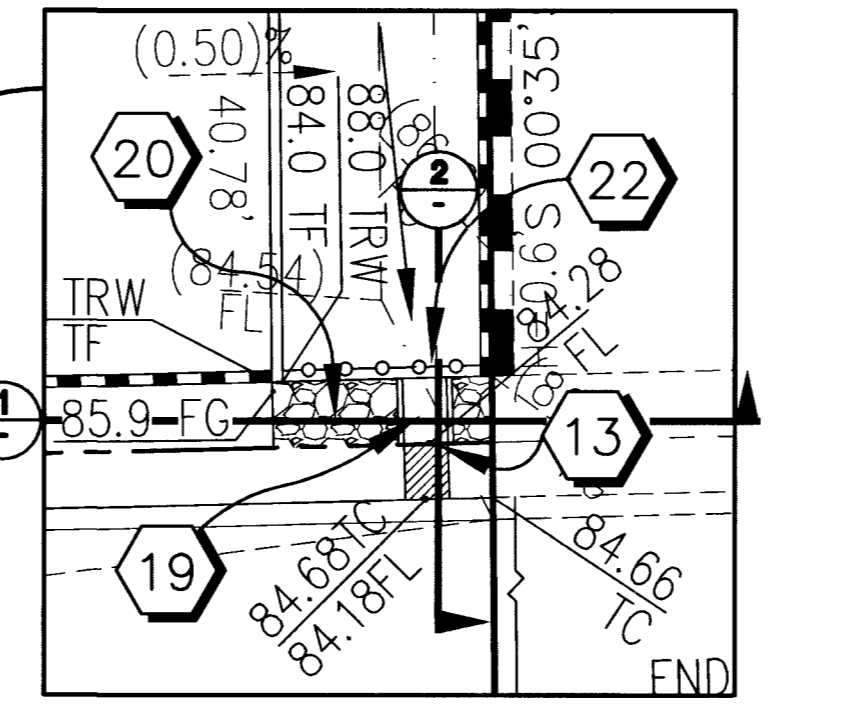
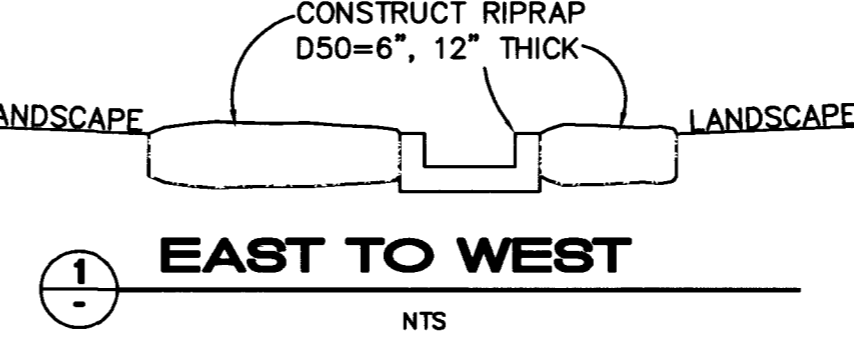
1. CONSTRUCT PAVEMENT PER DETAIL A ON SHEET DT1.
2. CONSTRUCT PAVEMENT PER DETAIL D ON SHEET DT1.
3. CONSTRUCT PAVEMENT PER DETAIL C ON SHEET DT1.
4. CONSTRUCT PAVEMENT PER DETAIL E ON SHEET DT1. (PUBLIC STREET)
5. CONSTRUCT PAVEMENT PER DETAIL F ON SHEET DT1. (PUBLIC STREET)
6. CONSTRUCT "A" TYPE CURB PER DETAIL ON SHEET DT1.
7. CONSTRUCT "L" TYPE CURB PER U.S.D.C.C.A. STD. DWG. NO 216.
8. CONSTRUCT ROLL CURB PER DETAIL ON SHEET DT1.
9. CONSTRUCT 10' TRANSITION FORM "L" TYPE CURB TO ROLLED CURB PER DETAIL ON SHEET DT1.
10. CONSTRUCT CONC. SIDEWALK PER U.S.D.C.C.A. STD. DWG. NO 234. SEE PLANS FOR WIDTH
11. CONSTRUCT 5' MEANDERING SIDEWALK. SEE (10)
12. CONSTRUCT SIDEWALK RAMP PER U.S.D.C.C.A. STANDARD DWG. NO. 235. A=8', B=8' UNLESS OTHERWISE NOTED. (CASE 1)
13. CONSTRUCT 2' CONCRETE SIDEWALK UNDER DRAIN PER U.S.D.C.C.A. STANDARD DWG. NO. 236.
14. CONSTRUCT 8' WIDE CROSS GUTTER (UNLESS OTHERWISE NOTED) PER U.S.D.C.C.A. STD. DWG. NO. 228.
15. CONSTRUCT 8' WIDE HALF CROSS GUTTERS PER CLARK COUNTY AREA STD. DWG. NO. 229.
16. SAW CUT EXISTING AC, REMOVE AND MATCH.
17. CONSTRUCT 4' TYPE CM2 DROP INLET PER DETAIL L ON SHEET DT2
18. PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY H.O.A.
19. CONSTRUCT FLUME PER DETAIL ON SHEET DT2.
20. CONSTRUCT RIPRAP D50=6", 12" THICK
21. CONSTRUCT RETAINING WALL PER CLV BUILDING DEPARTMENT STD.
22. CONSTRUCT WROUGHT IRON FENCE
23. CONSTRUCT SOLID GROUT 3 COURSES (MIN)
24. CONSTRUCT SOLID GROUT 2 COURSES (MIN)
25. CONSTRUCT BOLLARDS PER DETAIL N ON SHEET DT2
26. INSTALL CONCRETE WHEEL STOPS PER UDACS DWG NO 238

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA
C1	23.56	15.00	90°00'00"
C2	31.42	20.00	90°00'00"
C3	31.42	20.00	90°00'00"
C4	31.67	20.00	90°44'03"
C5	31.16	20.00	89°15'57"
C6	31.67	20.00	90°44'03"
C7	31.42	20.00	90°00'00"
C8	23.56	15.00	90°00'00"
C9	31.42	20.00	90°00'00"
C10	31.16	20.00	89°15'57"
C11	28.31	20.00	81°06'00"
C12	2.85	20.00	8°09'57"
C13	9.42	3.00	180°00'00"
C14	0.41	20.00	1°09'48"
C15	31.27	20.00	89°34'15"
C16	31.67	20.00	90°44'03"
C17	31.16	20.00	89°15'57"
C18	37.21	23.50	90°43'58"
C19	98.97	62.50	90°43'58"
C20	36.76	62.50	33°42'04"
C21	46.02	62.50	42°11'26"
C22	16.19	62.50	14°50'28"
C23	31.10	20.00	89°05'25"
C24	31.73	20.00	90°34'35"
C25	31.42	20.00	90°00'00"
C26	31.42	20.00	90°00'00"
C27	23.56	15.00	90°00'00"
C28	31.42	20.00	90°00'00"
C29	23.56	15.00	90°00'00"
C30	31.42	20.00	90°00'00"
C31	9.42	3.00	180°00'00"
C32	36.54	23.50	89°05'25"
C33	27.23	62.50	24°57'33"
C34	35.34	62.50	32°23'47"
C35	21.52	62.50	19°43'42"
C36	13.10	62.50	12°00'23"
C37	97.18	62.50	89°05'25"
C38	31.73	20.00	90°54'40"
C39	31.10	20.00	89°05'20"
C40	37.29	23.50	90°54'40"
C41	99.17	62.50	90°54'40"
C42	31.67	20.00	90°43'58"
C43	39.59	25.00	90°43'58"

**GRADING NOTES**

1. CVL CONSULTANTS SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY IN THE PLANS OR CONDITIONS IN THE FIELD.
2. ALL WORK TO BE PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAVE BEEN OBTAINED FROM THE OFF SITE OWNER AND GIVEN TO THE CITY OF LAS VEGAS.
3. FOR AREAS THAT ARE FLATTER THAN 2:1 SLOPE, OR LESS THAN 1' ELEVATION DIFFERENCE, SCARPS ARE NOT SHOWN ON PLANS FOR CLARITY PURPOSES.
4. GRADING AND STRUCTURAL SECTIONS SHALL CONFORM TO SOILS REPORT PREPARED BY GEO. TEK INC. DATED DECEMBER 09, 2002 AS REFERENCE NO. 4330-LV EXCEPT AS MODIFIED BY SOILS ENGINEER AND APPROVED BY THE CITY OF LAS VEGAS. STRUCTURAL SECTION USED IN THIS DESIGN IS 10". CONTRACTOR SHALL REFER TO THE SOILS REPORT AND ACCOMMODATE AND OTHER DESIGN.
5. ALL SCARP AREAS SHALL HAVE A MINIMUM ONE FOOT SHOULDER NEXT TO WALL PRIOR TO STARTING SLOPE.
6. SEE HORIZONTAL CONTROL PLAN FOR TYPICAL BUILDING SETBACKS AND LOT DIMENSIONS.
7. DRIVEWAY SLOPES SHOWN ARE BASED ON A STANDARD 2% SLOPE FOR 4' FROM GARAGE FACE. A STANDARD 2-CAR DRIVEWAY (16' MAX) IS SHOWN. ACTUAL DRIVEWAY SIZE MAY VARY DEPENDING ON FINAL PRODUCT TYPE.



I CERTIFY THAT THIS GRADING PLAN CONFORMS TO THE APPROVED DRAINAGE STUDY FOR THE SITE ON FILE AT CITY OF LAS VEGAS.  
DARREN M. BENCH DATE 1-06-04 P.E. # 10974

DESIGNED BY: AFD  
DRAWN BY: AFD  
CHECKED BY: AZ  
PROJECT DATE: 4/15/03

REVISION: NO. DATE APP. DATE

NEVADA  
CITY OF LAS VEGAS  
LA VENTINA UNIT 1  
GRADING PLAN 2

American Premiere Homes & Development  
235 W. Brooks Ave., 2nd Floor  
Las Vegas, NV 89108  
(702) 399-4437 • (702) 399-2454 FAX

PROFESSIONAL ENGINEER - STATE OF NEVADA  
DARREN M. BENCH  
No. 10574

6280 S. Valley View Blvd  
Suite 200  
Las Vegas, NV 89118  
Tel: (702) 368-0008  
Fax: (702) 368-0047

CONSULTANTS, INC.  
ENGINEERING - PLANNING - LAND SURVEYING

SHEET  
GP2  
9 OF 23  
AGENCY DWG. NO.  
10714796