

- NOTES:**
- STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK. SEE TYPICAL GRADING SECTION.
  - REFER TO GENERAL NOTE 1.
  - REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
  - MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
  - MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 15' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
  - MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.

**SOILS REPORT:**  
PREPARED BY: GEOTEK, INC.  
8830 ESCONDO STREET, SUITE A  
LAS VEGAS, NEVADA 89119  
PHONE: (702) 897-1424  
PROJECT NUMBER: 2728-LV  
DATED: MARCH 14, 2000.

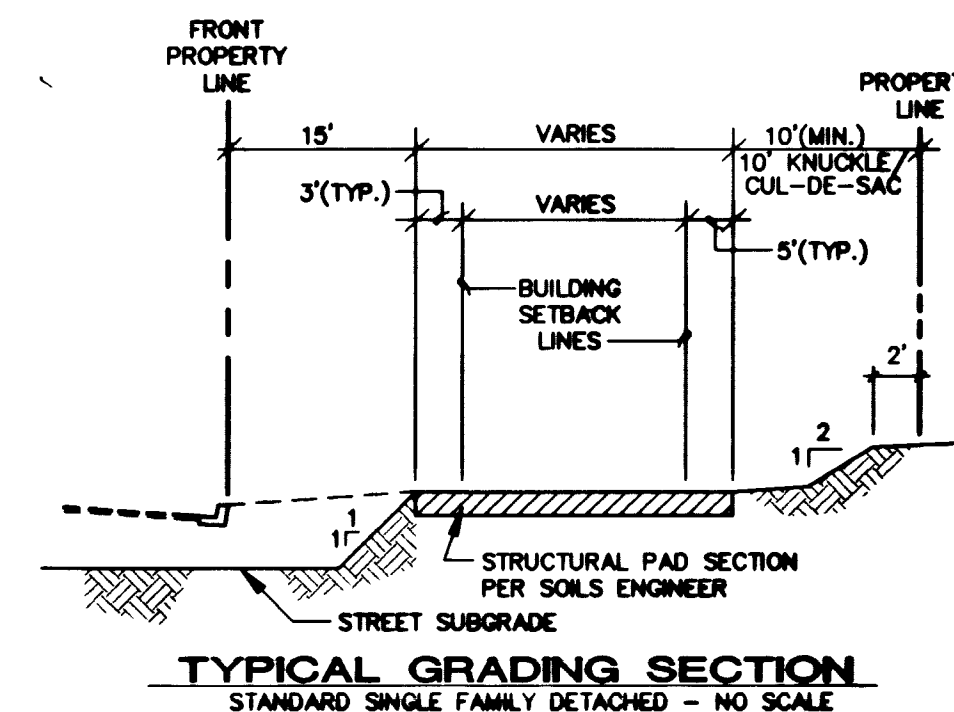
NOTE: RETAINING WALL HEIGHTS ARE TO BE DETERMINED USING CONVERSION TABLE TO THE LEFT.  
TOP OF RETAINING WALL TO BE AT OR ABOVE UPPER PAD ELEVATION.

- CONSTRUCTION KEY**
- STREET IMPROVEMENTS:**
- 40' WIDE (PRIVATE STREET) = CONSTRUCT 2" AC PAVING OVER 4" TYPE II BASE PER U.S.D.C.C.A. STANDARD DWG. NO. 210.
  - CONSTRUCT 8" WIDE CROSS GUTTER PER U.S.D.C.C.A. STANDARD DRAWING NO. 228.
  - CONSTRUCT SIDEWALK RAMP PER U.S.D.C.C.A. STANDARD DWG. NO. 235 A=8.0', B=8.0' UNLESS OTHERWISE NOTED ON PLANS. CASE I
  - CONSTRUCT "ROLL" CURB PER U.S.D.C.C.A. STANDARD DWG. NO. 217A.
  - CONSTRUCT 5" WIDE CONCRETE SIDEWALK PER U.S.D.C.C.A. STANDARD DRAWING NO. 234.

**RETAINING WALL CONVERSION TABLE**

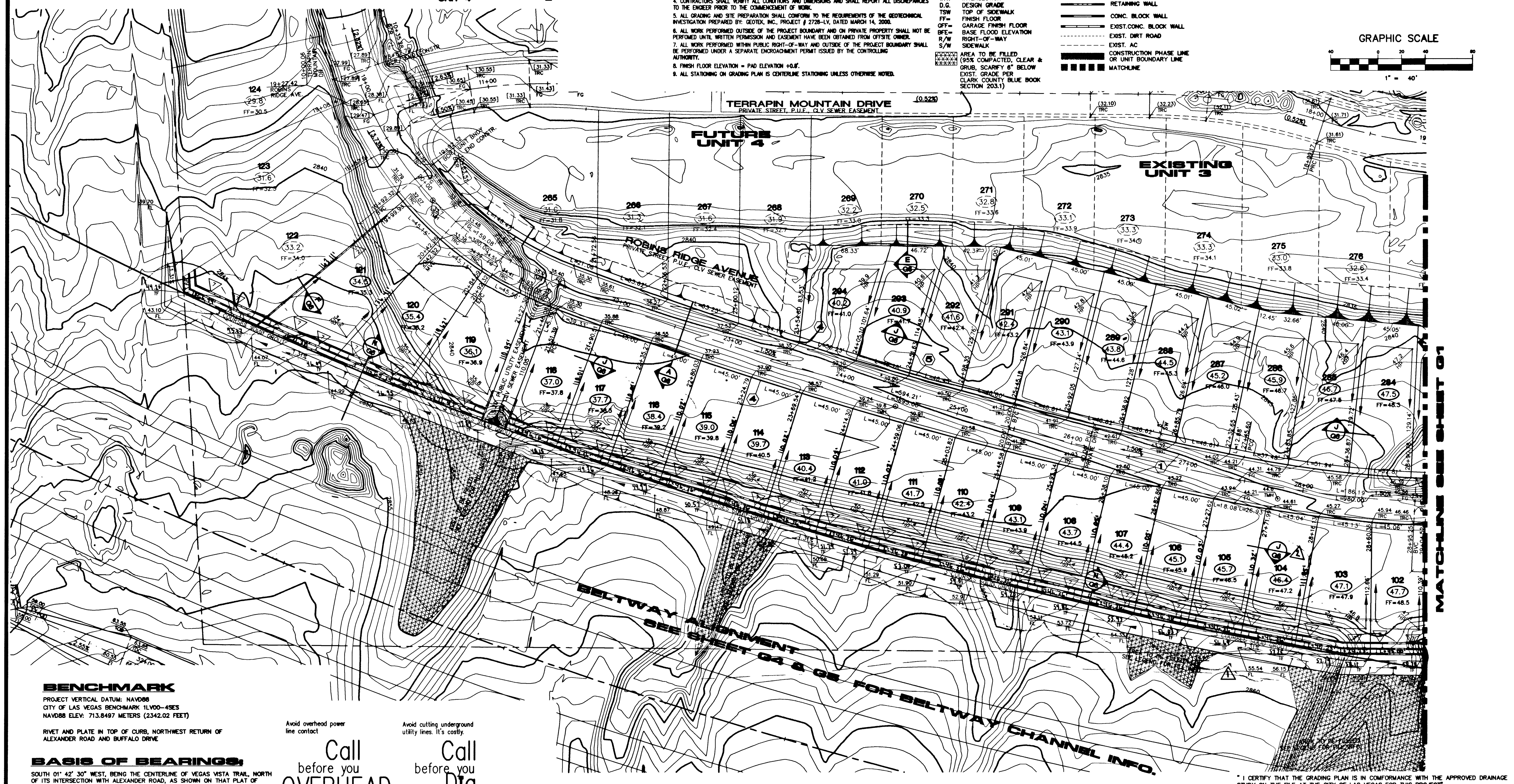
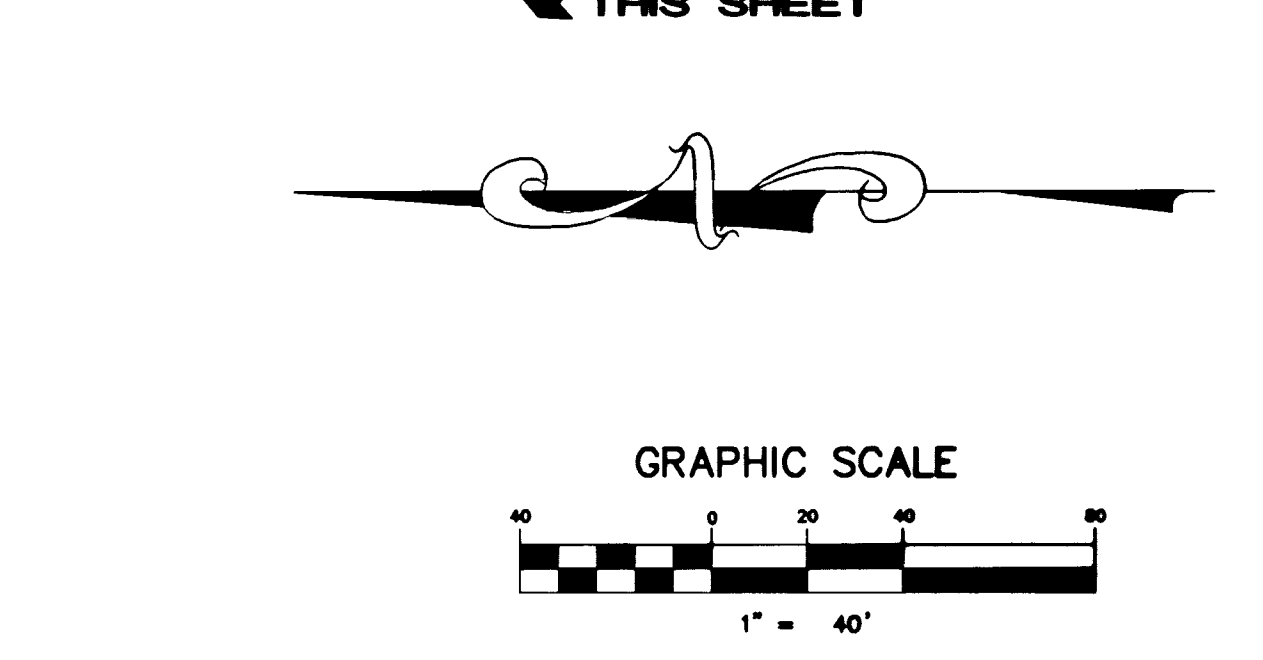
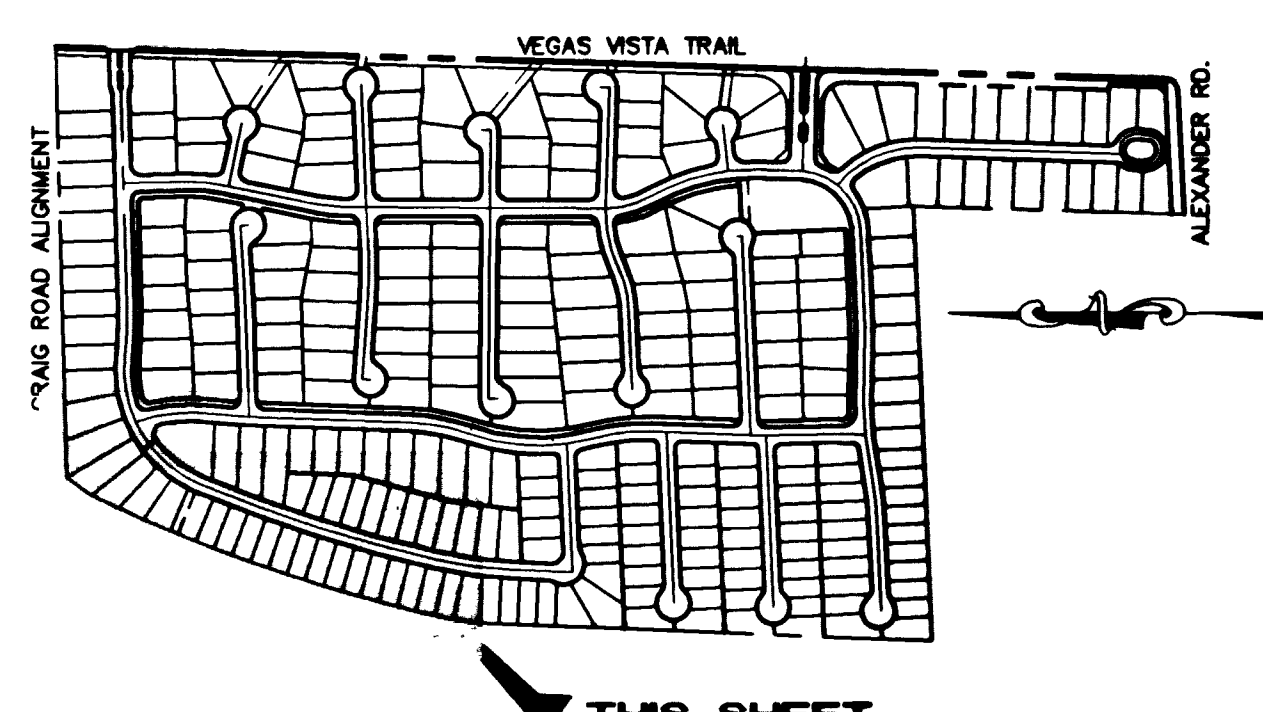
△ 1	0.67'
△ 2	1.33'
△ 3	2.00'
△ 4	2.67'
△ 5	3.33'
△ 6	4.00'
△ 7	4.67'
△ 8	5.33'

\*EACH △ = 1"-8" COURSE BLOCK WALL



- LEGEND**
- FG FINISH GRADE
  - FL FLOW LINE
  - TC TOP OF CURB
  - TRC TOP OF ROLL CURB
  - EAC EDGE OF ASPHALT PAVEMENT
  - FUT FUTURE
  - EXIST EXISTING (EL)
  - VG VALLEY GUTTER
  - NG NATURAL GROUND
  - HP HIGH POINT
  - L.P. LOW POINT
  - C/L CENTER LINE
  - O/C OFFSET CROWN
  - BC BACK OF CURB
  - BCR BEGIN CURB RETURN
  - TF TOP OF FOOTING
  - GB GRADE BREAK
  - PC POINT OF CURVATURE
  - PT POINT OF TANGENCY
  - PRC POINT OF REVERSE CURVATURE
  - EVC END VERTICAL CURVE
  - BVC BEGIN VERTICAL CURVE
  - MVC MID-POINT OF VERTICAL CURVE
  - END VERTICAL CURVE
  - PRVC POINT OF REVERSE VERTICAL CURVE
  - VPV VERTICAL POINT OF INTERSECTION
  - TPW TOP OF PLANTER WALL
  - TRW TOP OF RETAINMENT WALL
  - TOP OF CHANNEL/SCARP
  - TOE OF CHANNEL/SCARP
  - TOB TOP OF BOX
  - PP POWER POLE
  - TRANS. TRANSITION
  - RET. RETAINMENT
  - INT. INTERSECTION
  - D.G. DESIGN GRADE
  - TSW TOP OF SIDEWALK
  - FF FINISH FLOOR
  - GF GARAGE FINISH FLOOR
  - SFE-SF FLOOD ELEVATION
  - R/W RIGHT-OF-WAY
  - S/W SIDEWALK
  - AREA TO BE FILLED (95% COMPACTED, CLEAR & GRUB, SCARIFY 8" BELOW EXIST. GRADE PER CLARK COUNTY BLUE BOOK SECTION 203.1)
  - EX. CONTOUR(5' INTERVAL)
  - EX. CONTOUR(1' INTERVAL)
  - PROPOSED CONTOUR
  - PROPOSED PAD GRADE
  - FUT./EXIST. PAD GRADE
  - SLOPE AND FLOW DIRECTION
  - EDGE OF EXIST. A.C.
  - SAW CUT & MATCH A.C.
  - SIDEWALK RAMP
  - PAD SWALE SLOPES
  - SCARP AREA
  - LOT NUMBER
  - BLOCK NUMBER
  - RETAINING HEIGHT (FEET)
  - SIGHT VISIBILITY ZONES
  - PROJECT BOUNDARY LINE
  - SETBACK LINE
  - R/W OR P/A
  - EXIST. IMPROVEMENTS
  - FUTURE IMPROVEMENTS
  - CENTER LINE
  - RETAINING WALL
  - CONC. BLOCK WALL
  - EXIST. CONC. BLOCK WALL
  - EXIST. DIRT ROAD
  - EXIST. AC
  - CONSTRUCTION PHASE LINE OR UNIT BOUNDARY LINE
  - MATCHLINE

- GENERAL NOTES**
- ALL GRADES SHOWN HEREON ARE TO ROUGH GRADE ONLY AND ARE 0.30 FEET LOW TO ALLOW FOR LANDSCAPING EXCEPT T.C., F.L. AND F.G. WHICH ARE TO FINISH GRADE.
  - ALL LOTS ARE TO BE F.H.A. TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
  - SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL JUMP FOR EXACT BEARINGS AND DISTANCES.
  - CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
  - ALL GRADING AND SITE PREPARATION SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY: GEOTEK, INC., PROJECT # 2728-LV, DATED MARCH 14, 2000.
  - ALL WORK PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAS BEEN OBTAINED FROM OFFSITE OWNER.
  - ALL WORK PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND OUTSIDE OF THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
  - FINISH FLOOR ELEVATION = PAD ELEVATION +0.0'
  - ALL STATIONING ON GRADING PLAN IS CENTERLINE STATIONING UNLESS OTHERWISE NOTED.



**BENCHMARK**  
PROJECT VERTICAL DATUM: NAVD83  
CITY OF LAS VEGAS BENCHMARK 1LV00-4SES  
NAVD83 ELEV: 713.8497 METERS (2342.02 FEET)

**BASIS OF BEARINGS:**  
SOUTH 01° 42' 30" WEST, BEING THE CENTERLINE OF VEGAS VISTA TRAIL, NORTH OF ITS INTERSECTION WITH ALEXANDER ROAD, AS SHOWN ON THAT PLAT OF "LONE MOUNTAIN HEIGHTS - UNIT 1", ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, IN BOOK 96 OF PLATS, AT PAGE 81.

Call before you OVERHEAD 1-702-593-6111  
Call before you Dig 1-800-227-2600

I CERTIFY THAT THE GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON THE FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

KEN NICHOLSON, P.E. #10539

**KB HOME**  
750 PILOT ROAD, SUITE F  
LAS VEGAS, NV 89119  
(702) 614-2500

**GRADING PLAN**

**LONE MOUNTAIN HEIGHTS UNIT 6**

**CITY OF LAS VEGAS**  
2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148  
PH. (702) 873-7550 FAX (702) 382-2597

**vtm nevada**  
CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS

SHEET 02 OF 25 SHEETS  
DRAWING NO. 1074-4646-5

DATE 4.3.01

31064 RS 31935