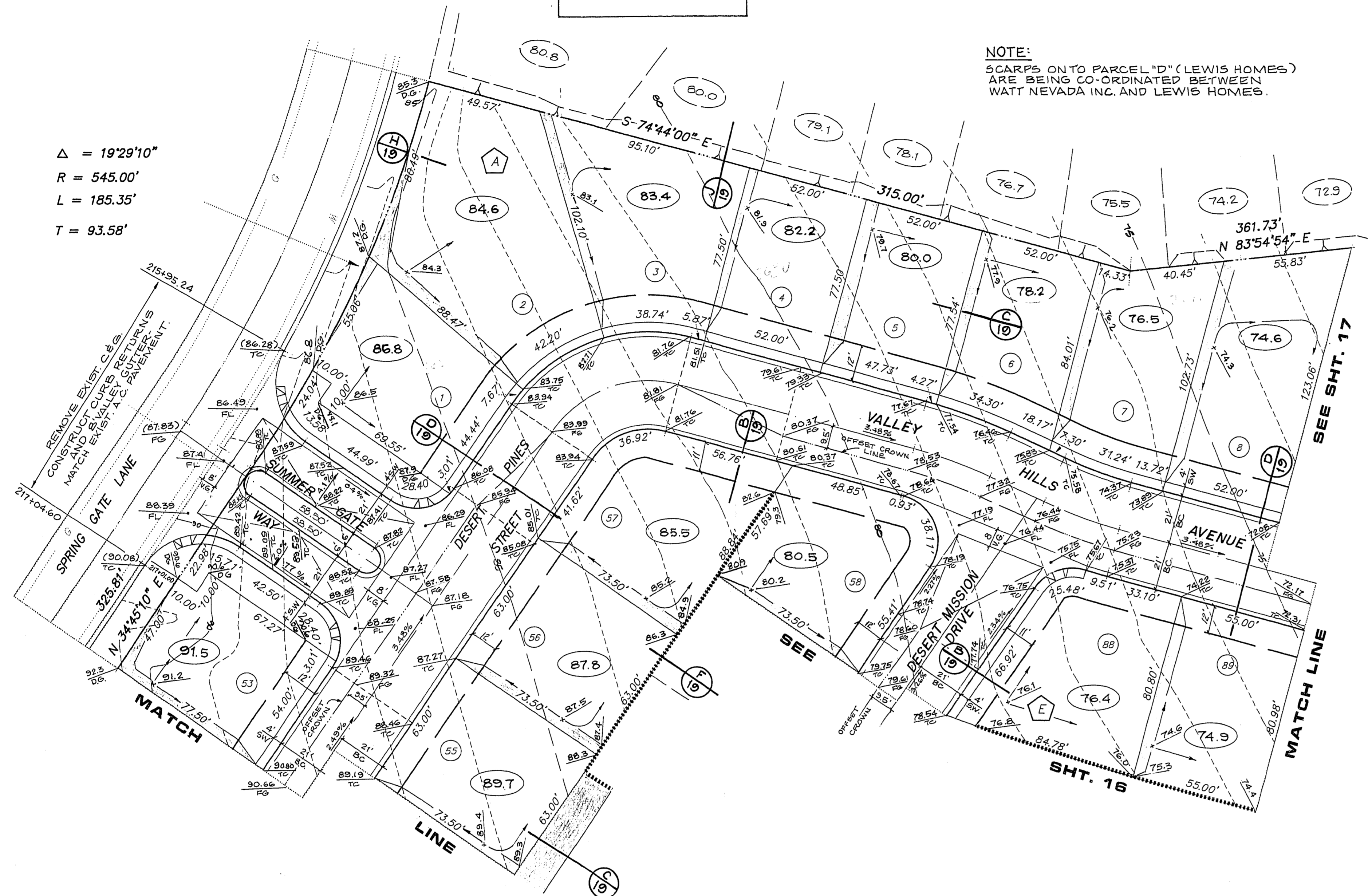


NOTE: ALL STREET SIDE DIMENSIONS ARE AT BACK OF CURB.

NOTE: SCARPS ON TO PARCEL "D" (LEWIS HOMES) ARE BEING CO-ORDINATED BETWEEN WATT NEVADA INC. AND LEWIS HOMES.

$\Delta = 19'29''10''$   
 $R = 545.00'$   
 $L = 185.35'$   
 $T = 93.58'$

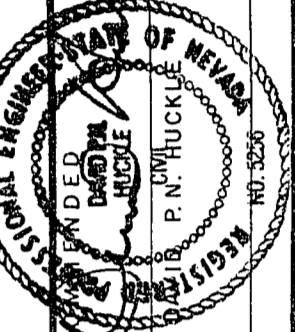


SCALE: 1" = 30'

**LEGEND**

- (4) LOT NUMBER
- (1) BLOCK NUMBER
- (76.5) PAD ELEVATION
- (75.5) EXISTING PAD ELEVATION
- (77.0) FUTURE PAD ELEVATION
- 77.32 PG FINISHED GRADE
- (86.28) EXISTING ELEVATION
- (86.28) FUTURE ELEVATION
- 77.32 ROUGH GRADE ELEVATION
- 77.32 GRADE BREAK
- 2:1 SCARP
- DITCH OR SWALE
- EXISTING CONTOUR
- TC TOP OF CURB
- DC DESIGN GRADE
- FL FLOW LINE
- RETAINING WALL
- PAD SETBACK LINE

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE PLANNED DRAINAGE DESIGN OF FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.



**G.C. WALLACE, INC.**  
 Engineering/Architecture  
 1555 SOUTH RAINBOW BLVD. LAS VEGAS, NEVADA 89102

WATT NEVADA, INC.  
 LAS COLINAS

**GRADING PLAN 1**

SHEET  
**15**  
 OF 19 SHEETS

31

REV	DATE	DESCRIPTION