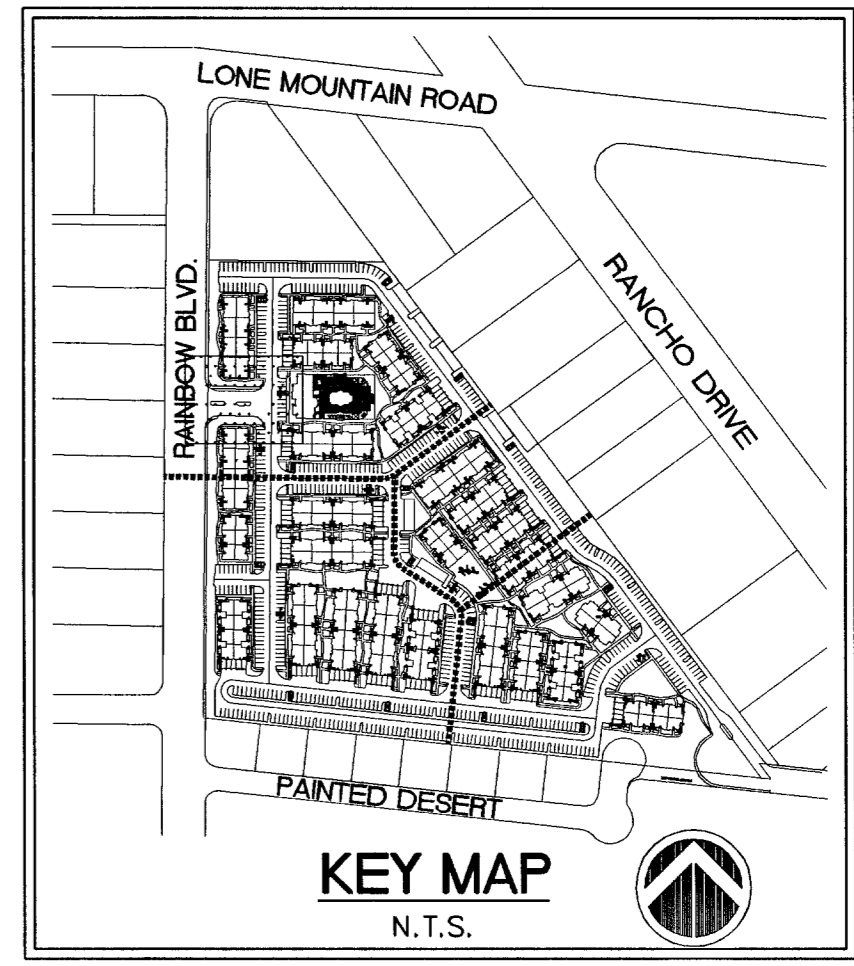


- CONSTRUCTION LEGEND**
- 1. NATURAL COLOR CONCRETE WALK WITH MEDIUM BROOM FINISH.
 - 2. TYPICAL SCORE LINE/ EXPANSION JOINT SPACING. SEE DETAIL "M", SHEET 38.
 - 3. PERIMETER WALL. SEE DETAIL "B-2", SHEET 37.
 - 4. LOW WALL W/ WROUGHT IRON FENCE. SEE DETAIL "C", SHEET 37.
 - 5. ENTRY LOW WALL PER DETAIL F, SHEET 37
 - 6. PERIMETER PILASTER SEE DETAIL "D", SHEET 37.
 - 7. STONE PEDESTAL W/ URN. SEE DETAIL "H" SHEET 37.
 - 8. ENTRY MONUMENT SIGN SEE DETAIL "O" SHEET 38.
 - 9. DRAINAGE SWALE. NO PLANTING IN THIS AREA.
 - 10. SIGNAGE UPLIGHT, TYPICAL. ELLIPTIPAR SMALL H.I.D. UNIT M 452. BRONZE 120V (203) 934-4455. COORDINATE WITH OWNER'S REPRESENTATIVE.
 - 11. WROUGHT IRON VEHICULAR EXIT GATE. SEE DETAIL "T" SHEET 39.
 - 12. ENTRY WROUGHT IRON GATE. SEE DETAIL "U", SHEET 39.
 - 13. WROUGHT IRON VEHICULAR ENTRY GATE. SEE DETAIL "S" SHEET 38.
 - 14. VEHICULAR GATE EQUIPMENT LOCATION, TYPICAL. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL GATE EQUIPMENT. ALL PERMITS BY ENTRY GATE COMPANY.
 - 15. PHONE/ DIRECTORY WALL SEE DETAIL "L", SHEET 38.
 - 16. ENTRY PILASTER W/ PEDESTAL SEE DETAIL "G" SHEET 37.
 - 17. EXISTING UTILITY VAULT - ADJUST WITHIN SIDEWALK
 - 18. EXISTING POWER POLE - PROTECT IN PLACE



10/19/06 [BK] MOVE BC ON RAINBOW 5' WEST. ADJUST AFFECTED IMPROVEMENTS	45	11/2/6
REV	DATE	BY

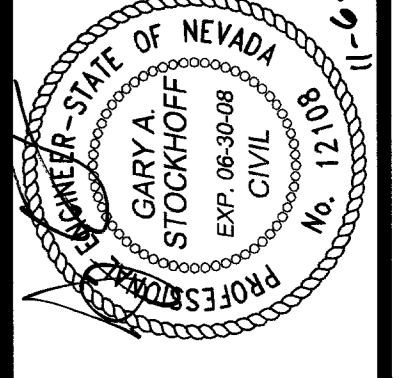
Ovation Development
 1175 AMERICAN PACIFIC DRIVE, SUITE F
 HENDERSON, NEVADA 89074
 CONTACT: JAN COVER (702) 990-2325

V.F. FENT
 DESIGNING FOR THE FUTURE
 PLANNERS • CONSULTING ENGINEERS • SURVEYORS
 1009 WHITNEY RANCH DRIVE - HENDERSON, NEVADA 89014 - (702) 248-6415

MAIN ENTRANCE DETAIL

LONE MOUNTAIN APARTMENTS

DRAWN BY: REH	APRIL 2004
DESIGNED BY: REH	APRIL 2004
CHECKED BY: JLF	APRIL 2004
PROJECT NO: 662-E169	SCALE: 1" = 10' HOR.



SHEET
DT5
 34 OF 41 SHEETS
 DRAWING NO.
107V4322

CAUTION TO CONTRACTOR !
 EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.



Call before you Dig.
 1-800-227-2600
 UNDERGROUND SERVICE (USA)

BENCH MARK:
 CITY OF LAS VEGAS BENCH MARK 1LV00 3NE66
 CITY OF LAS VEGAS PIN AND PLATE IN THE TOP OF CURB, SOUTHWEST CORNER OF RAINBOW BOULEVARD AND RED COACH AVENUE NEAR THE PT OF RED COACH AVENUE.
 NAVD '88 DATUM
 ELEVATION = 2319.021 U.S. SURVEY FEET
 ELEVATION = 706.839 METERS

BASIS OF BEARINGS:
 THE BASIS OF BEARING FOR THIS SURVEY IS THE WESTERLY LINE OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 2, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, COUNTY OF CLARK, STATE OF NEVADA, WHICH BEARS NORTH 00°31'01" EAST, AS PER MAP RECORDED IN BOOK 105, PAGE 58 OF PLATS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

- NOTES:**
- 1. PLEASE SEE THE GRADING PLANS FOR STREET IMPROVEMENTS.
 - 2. PSE IS A PUBLIC SEWER EASEMENT

