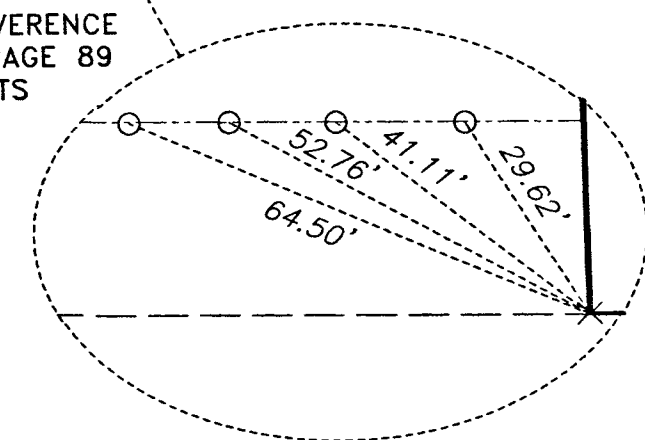


A COMMON INTEREST COMMUNITY



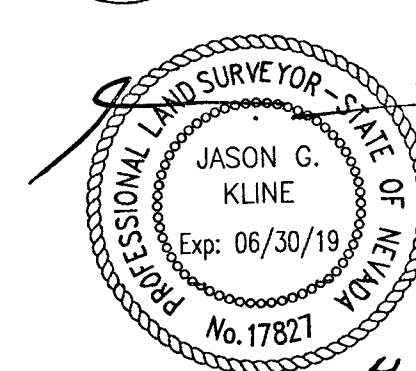
BOOK 117, PAGE 30 OF PLATS
BOOK 127, PAGE 24 OF PLATS
BOOK 127, PAGE 70 OF PLATS
BOOK 133, PAGE 98 OF PLATS
BOOK 146, PAGE 85 OF PLATS
BOOK 146, PAGE 93 OF PLATS
BOOK 151, PAGE 89 OF PLATS

NORTH 00°19'04" WEST, BEING THE BEARING OF THE WEST LINE OF THE NORTHWEST QUARTER (NW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN BY MAP THEREOF IN BOOK 127, PAGE 24 OF PLATS IN THE CLARK COUNTY RECORDER'S OFFICE, NEVADA.

RESIDENTIAL LOTS
COMMON ELEMENTS
PUBLIC STREETS (52,533 S.F.)
PRIVATE STREETS (3.11 ACRES)

_____ SUBDIVISION BOUNDARY LINE	OR:	OFFICIAL RECORDS
_____ STREET CENTERLINE	APN	ASSESSOR'S PARCEL NUMBER
_____ SECTION LINE	×	CALCULATED POINT PER BOOK 127, PAGE 24 OF PLATS
_____ QUARTER SECTION LINE	●	FOUND MONUMENTATION AS SHOWN AND DESCRIBED
_____ SIXTEENTH SECTION LINE	○	FOUND 2" ALUMINUM REFERENCE MONUMENT STAMPED "PLS 14419"
_____ ADJOINING LOT LINE		
_____ EASEMENT LINE		
_____ MATCH LINE	[X1]	RIGHT-OF-WAY EASEMENT GRANTED PER OR:20040318:00194

FOUND 3.25"
ALUMINUM CA
IN CONCRETE
STAMPED
"PLS 14419"



SHEET 2 OF 9

BOOK 159 , PAGE 7

FINAL MAP OF FARM HUALAPAI

A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

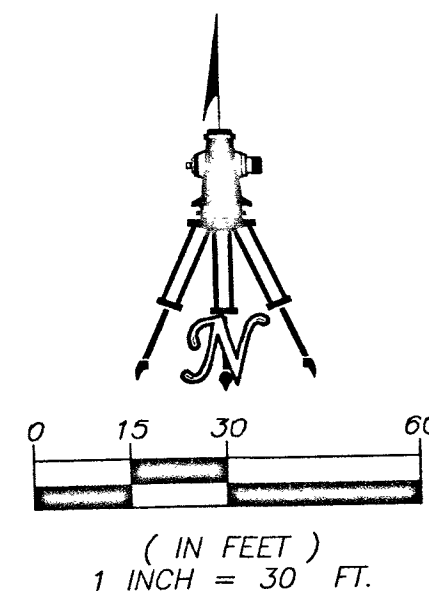
LEGEND

	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	EASEMENT LINE
	MATCH LINE
	QUARTER SECTION LINE
	ADJOINING LOT LINE

1	LOT NUMBER
C.E.	COMMON ELEMENT
S.F.	SQUARE FEET
OR:	OFFICIAL RECORDS
(R)	RADIAL LINE
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
◇	PUBLIC STREET DEDICATED TO THE CITY OF LAS VEGAS PER THIS PLAT (52,533 S.F.)
◇	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
●	FOUND MONUMENTATION AS SHOWN AND DESCRIBED
●	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
X1	RIGHT-OF-WAY EASEMENT GRANTED PER OR:20040318:00194
E1	LANDSCAPE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
	PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION

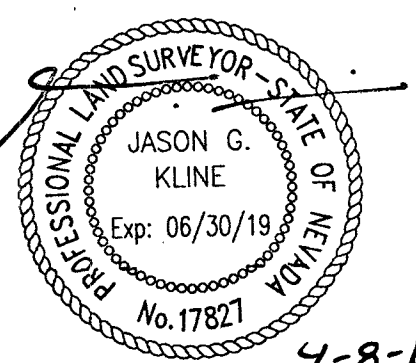
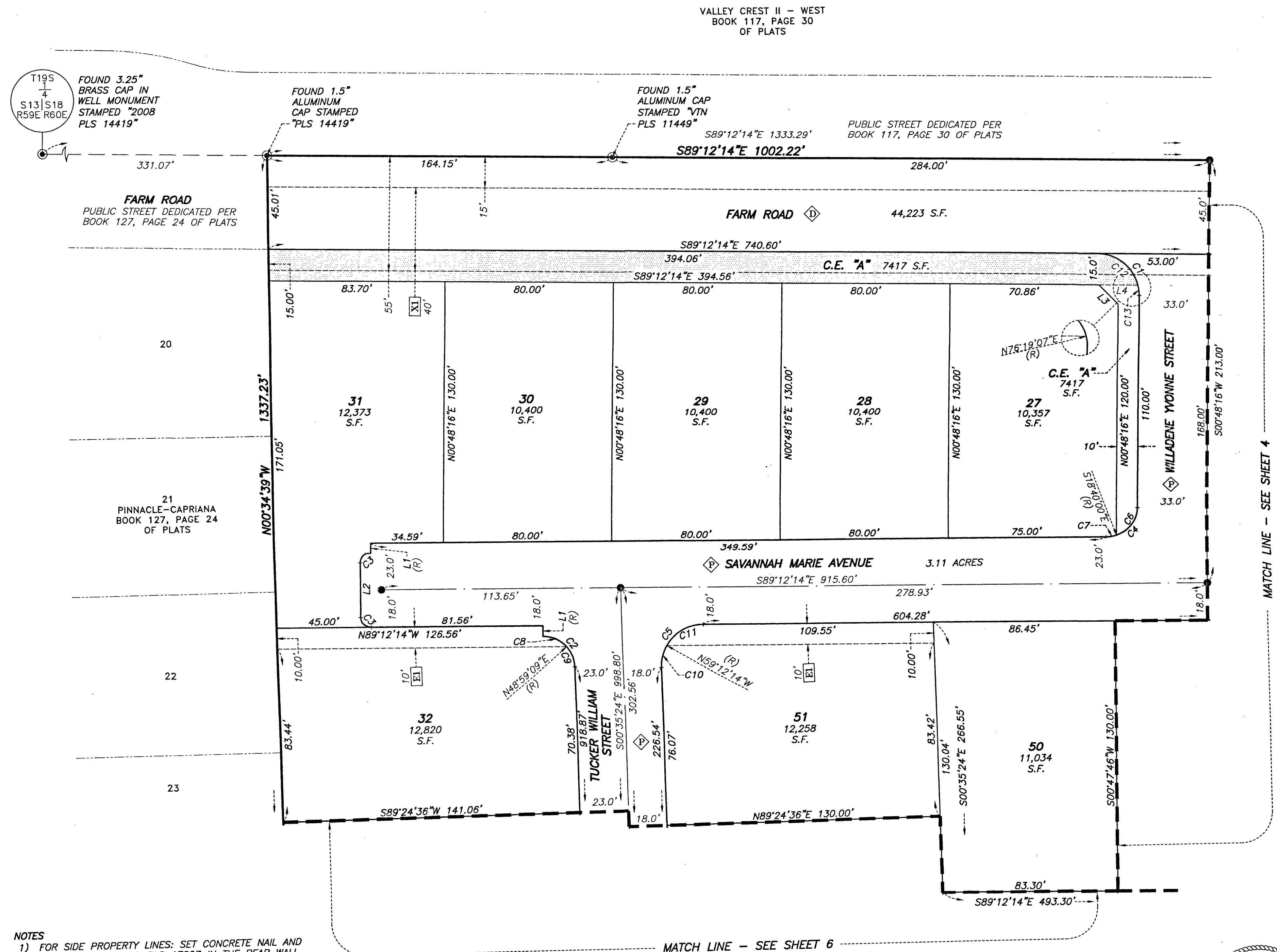
LINE	BEARING	DISTANCE
L1	N00°47'46"E	5.00'
L2	N00°47'46"E	26.00'
L3	S44°11'59"E	12.93'
L4	S89°12'14"E	18.51'

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	90°00'30"	20.00'	31.42'	20.00'
C2	88°36'50"	15.00'	23.20'	14.64'
C3	90°00'00"	5.00'	7.85'	5.00'
C4	89°59'30"	15.00'	23.56'	15.00'
C5	91°23'10"	20.00'	31.90'	20.49'
C6	70°31'44"	15.00'	18.46'	10.61'
C7	19°27'46"	15.00'	5.10'	2.57'
C8	48°11'23"	15.00'	12.62'	6.71'
C9	40°25'27"	15.00'	10.58'	5.52'
C10	31°23'10"	20.00'	10.96'	5.62'
C11	60°00'00"	20.00'	20.94'	11.55'
C12	75°31'21"	20.00'	26.36'	15.49'
C13	14°29'09"	20.00'	5.06'	2.54'



NOTES

- FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
- ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- DIRECT VEHICULAR ACCESS TO FARM ROAD FROM ADJUTING LOTS THROUGH COMMON ELEMENTS IS PROHIBITED.



4-8-19

SHEET 3 OF 9

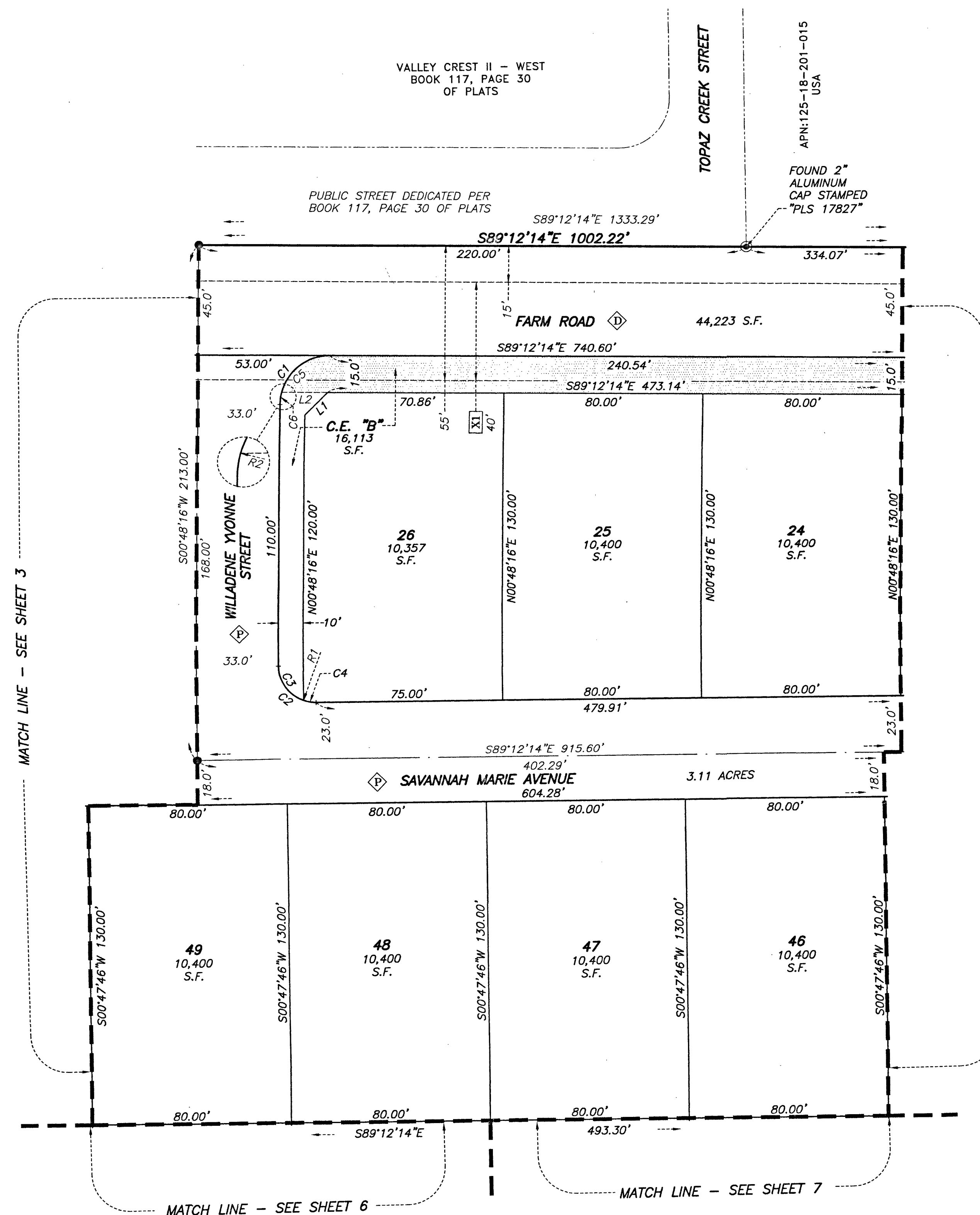
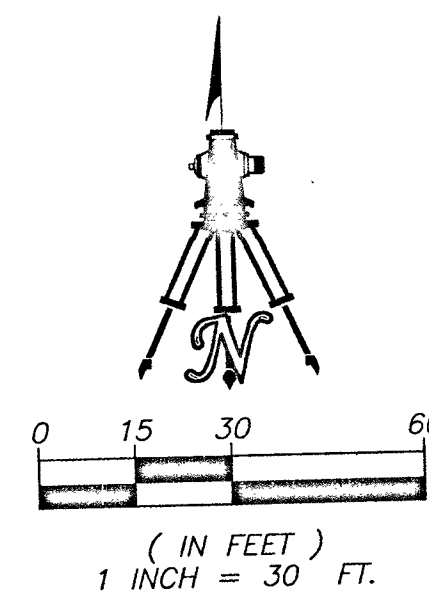
BOOK 159, PAGE 1

FINAL MAP OF FARM HUALAPAI

A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	EASEMENT LINE
	MATCH LINE
	ADJOINING LOT LINE
1	LOT NUMBER
C.E.	COMMON ELEMENT
S.F.	SQUARE FEET
OR:	OFFICIAL RECORDS
APN	ASSESSOR'S PARCEL NUMBER
R1	RADIAL LINE SEGMENT
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
	PUBLIC STREET DEDICATED TO THE CITY OF LAS VEGAS PER THIS PLAT (52,533 S.F.)
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	FOUND MONUMENTATION AS SHOWN AND DESCRIBED
	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
	RIGHT-OF-WAY EASEMENT GRANTED PER OR:20040318:00194
	PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION



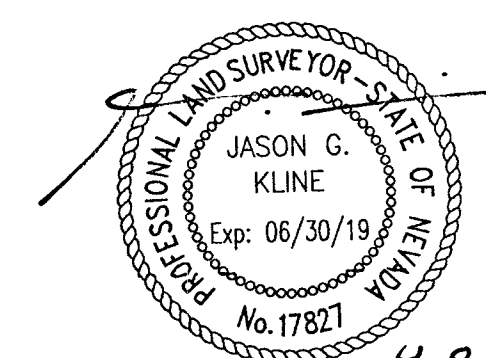
RADIAL	BEARING
R1	S20°16'33"W
R2	N74°43'35"W

LINE	BEARING	DISTANCE
L1	N45°48'01"E	12.93'
L2	S89°12'14"E	18.51'

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	89°59'30"	20.00'	31.41'	20.00'
C2	90°00'30"	15.00'	23.56'	15.00'
C3	70°31'44"	15.00'	18.46'	10.61'
C4	19°28'46"	15.00'	5.10'	2.57'
C5	75°31'21"	20.00'	26.36'	15.49'
C6	14°28'09"	20.00'	5.05'	2.54'

NOTES

- FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
- ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- DIRECT VEHICULAR ACCESS TO FARM ROAD FROM ADJUTING LOTS THROUGH COMMON ELEMENTS IS PROHIBITED.



4-8-19

SHEET 4 OF 9

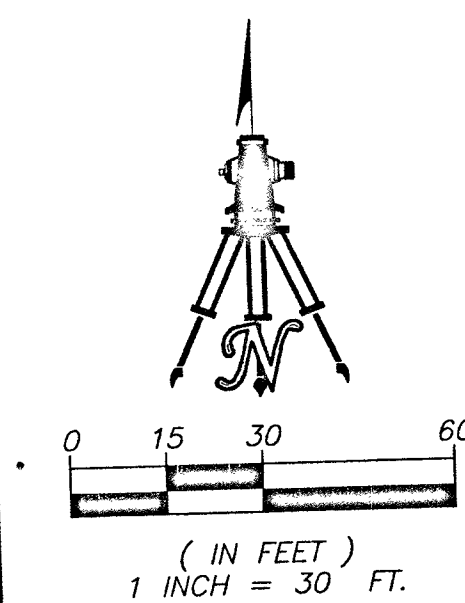
BOOK 159, PAGE 7

FINAL MAP OF FARM HUALAPAI

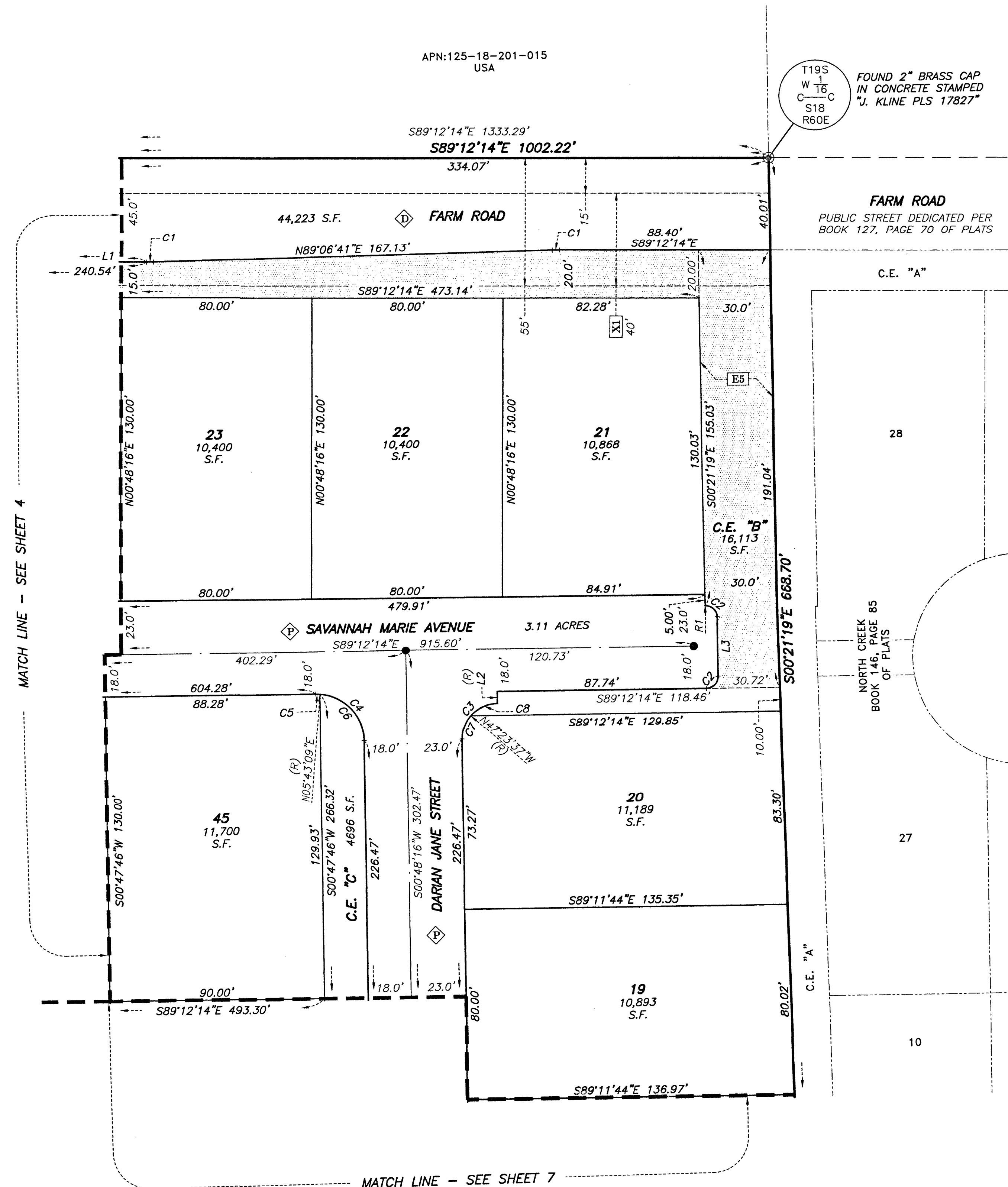
A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	EASEMENT LINE
	MATCH LINE
	QUARTER SECTION LINE
	ADJOINING LOT LINE
1	LOT NUMBER
C.E.	COMMON ELEMENT
S.F.	SQUARE FEET
OR:	OFFICIAL RECORDS
APN	ASSESSOR'S PARCEL NUMBER
(R)	RADIAL LINE
R1	RADIAL LINE SEGMENT
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
	PUBLIC STREET DEDICATED TO THE CITY OF LAS VEGAS PER THIS PLAT (52,533 S.F.)
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	FOUND MONUMENTATION AS SHOWN AND DESCRIBED
	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
	RIGHT-OF-WAY EASEMENT GRANTED PER OR:20040318:00194
	PUBLIC SEWER EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
	PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION



SHG-18096

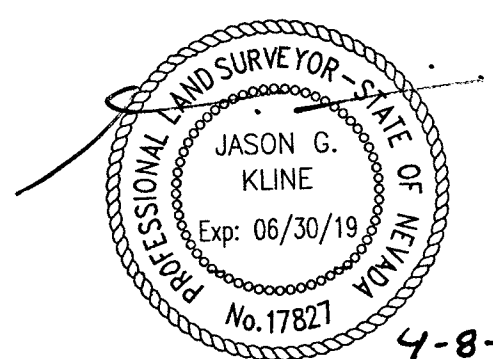


- NOTES**
- 1) FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
 - 2) ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - 3) DIRECT VEHICULAR ACCESS TO FARM ROAD FROM ABUTTING LOTS THROUGH COMMON ELEMENTS IS PROHIBITED.

RADIAL	BEARING
R1	N00°47'46"E

LINE	BEARING	DISTANCE
L1	S89°12'14"E	740.60'
L2	S00°47'46"W	5.00'
L3	S00°47'46"W	26.00'

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	01°41'05"	100.00'	2.94'	1.47'
C2	90°00'00"	5.00'	7.85'	5.00'
C3	89°59'30"	15.00'	23.56'	15.00'
C4	90°00'30"	20.00'	31.42'	20.00'
C5	04°55'23"	20.00'	1.72'	0.86'
C6	85°05'07"	20.00'	29.70'	18.35'
C7	41°48'07"	15.00'	10.94'	5.73'
C8	48°11'23"	15.00'	12.62'	6.71'



4-8-19

SHEET 5 OF 9

BOOK 159, PAGE 7

FINAL MAP OF FARM HUALAPAI

A COMMON INTEREST COMMUNITY

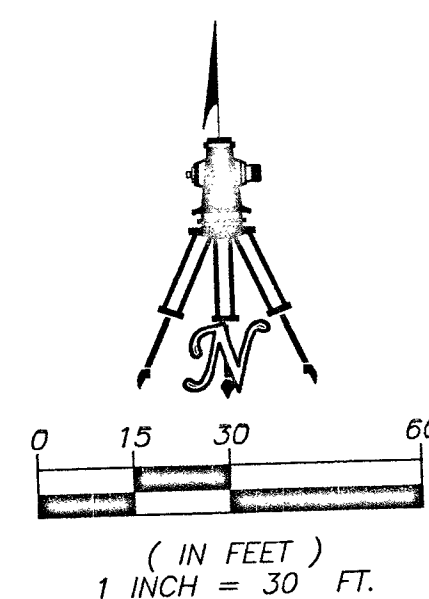
BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND

	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	EASEMENT LINE
	MATCH LINE
	ADJOINING LOT LINE
1	LOT NUMBER
S.F.	SQUARE FEET
(R)	RADIAL LINE
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
	LANDSCAPE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION

LINE	BEARING	DISTANCE
L1	S00°30'12"E	668.64'
L2	S89°24'36"W	5.00'
L3	N89°29'48"E	5.00'

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	91°23'10"	15.00'	23.92'	15.37'
C2	88°36'50"	20.00'	30.93'	19.52'
C3	20°51'26"	15.00'	5.46'	2.76'
C4	70°31'44"	15.00'	18.46'	10.61'
C5	28°36'50"	20.00'	9.99'	5.10'
C6	60°00'00"	20.00'	20.94'	11.55'



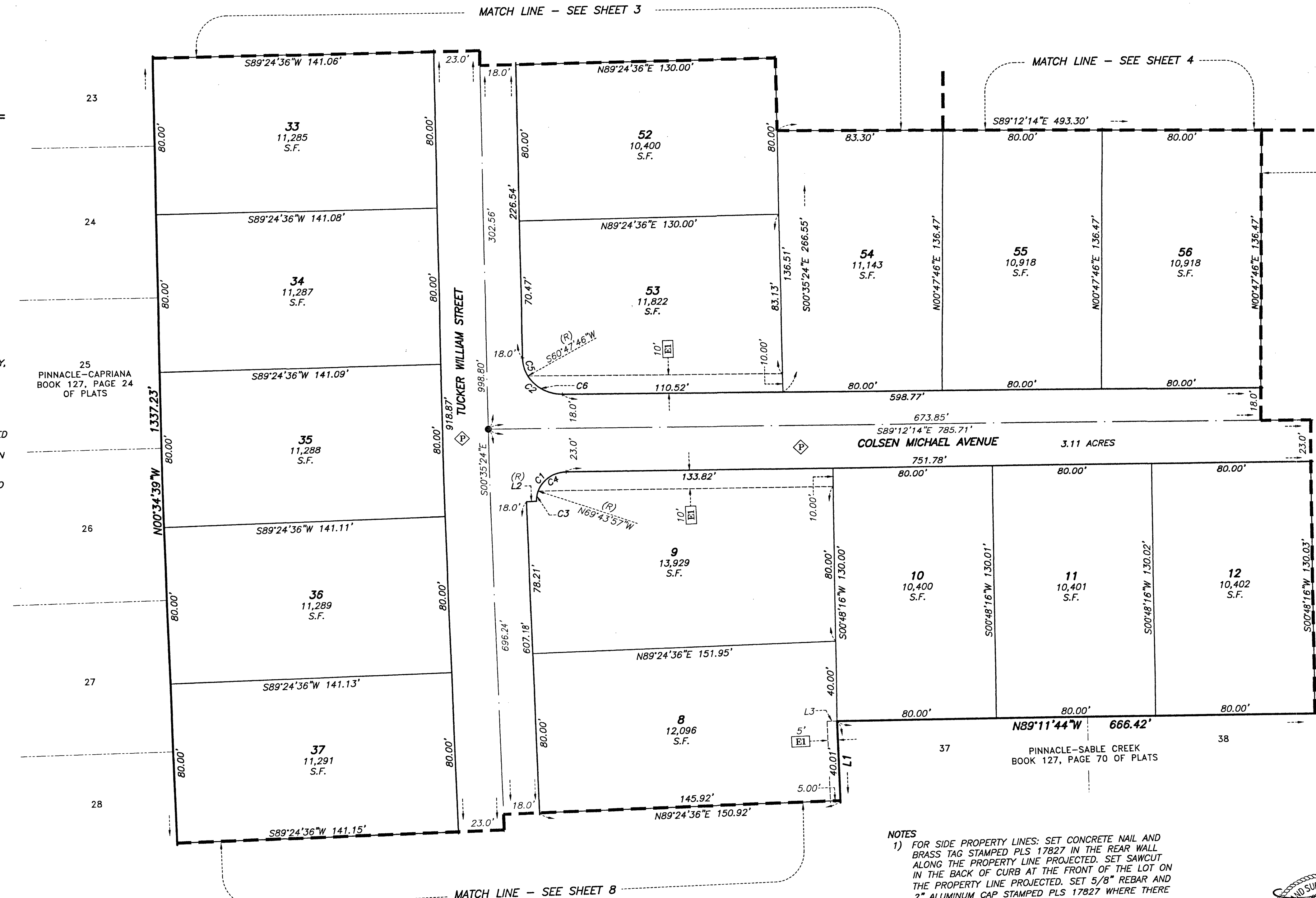
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MATCH LINE - SEE SHEET 3

MATCH LINE - SEE SHEET 4

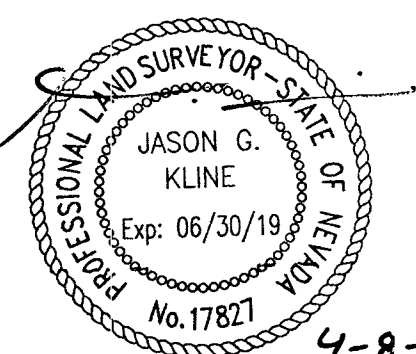
MATCH LINE - SEE SHEET 7

MATCH LINE - SEE SHEET 8



NOTES

- FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
- ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.



4-8-19

SHEET 6 OF 9

BOOK 159, PAGE 7

FINAL MAP OF FARM HUALAPAI

A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

NOTES

- FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
- ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

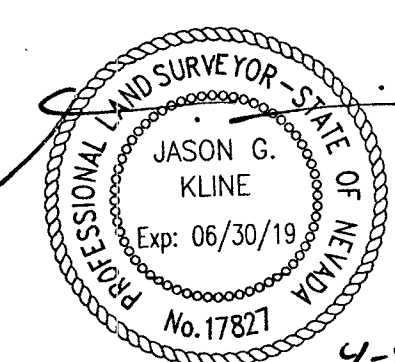
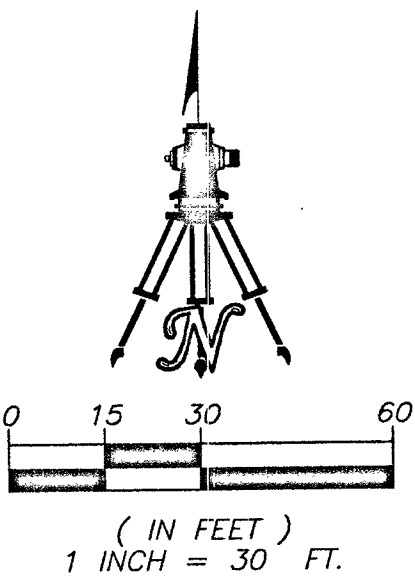
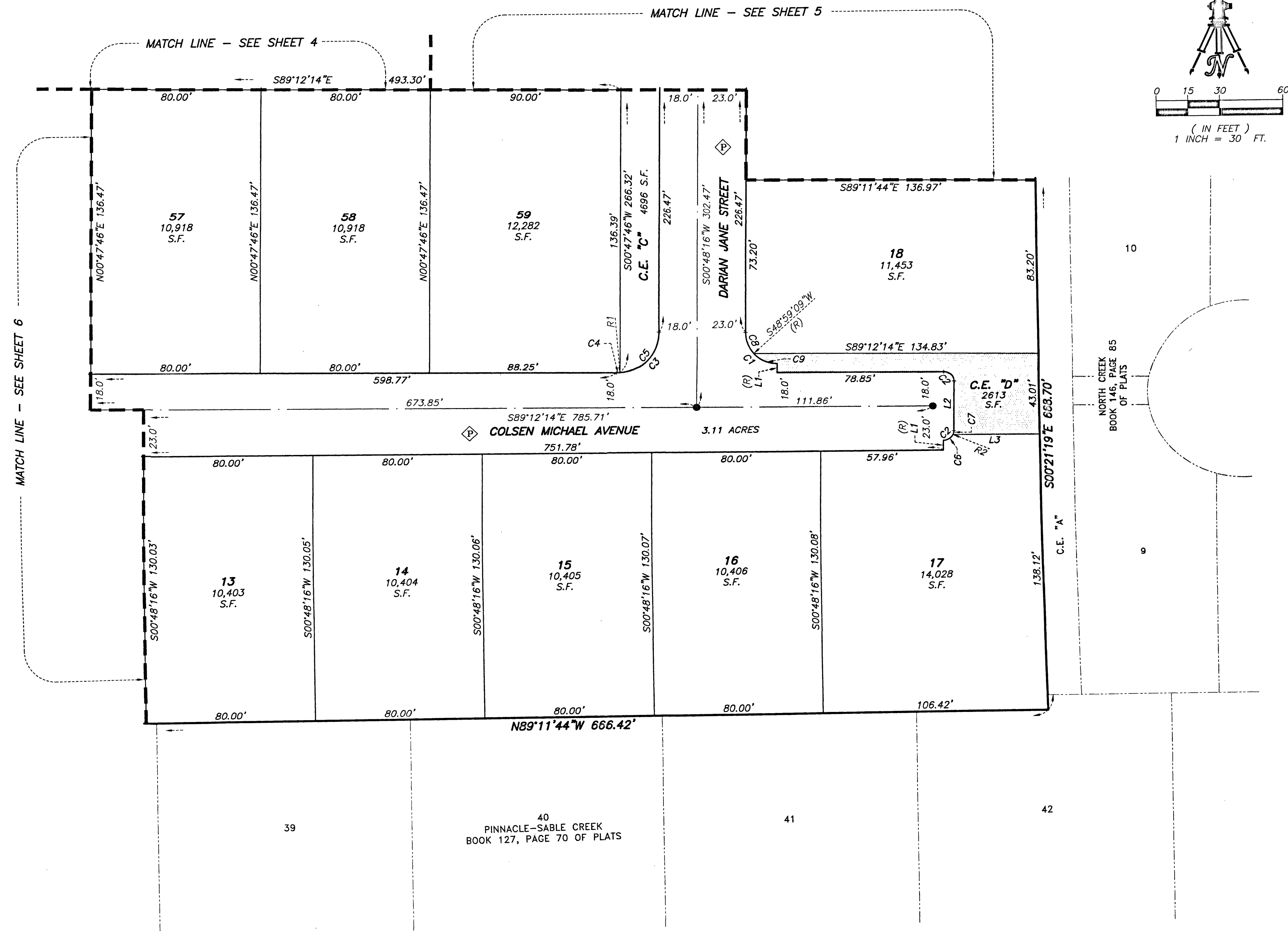
RADIAL	BEARING
R1	S04°13'18"E
R2	S65°37'32"E

LINE	BEARING	DISTANCE
L1	S00°47'46"W	5.00'
L2	S00°47'46"W	26.00'
L3	S89°12'14"E	41.08'

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	90°00'30"	15.00'	123.56'	15.00'
C2	90°00'00"	5.00'	7.85'	5.00'
C3	89°59'30"	20.00'	31.41'	20.00'
C4	05°01'04"	20.00'	1.75'	0.88'
C5	84°58'26"	20.00'	29.66'	18.32'
C6	66°25'19"	5.00'	5.80'	3.27'
C7	23°34'41"	5.00'	2.06'	1.04'
C8	41°49'07"	15.00'	10.95'	5.73'
C9	48°11'23"	15.00'	12.62'	6.71'

LEGEND

	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	MATCH LINE
	ADJOINING LOT LINE
1	LOT NUMBER
C.E.	COMMON ELEMENT
S.F.	SQUARE FEET
(R)	RADIAL LINE
R1	RADIAL LINE SEGMENT
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
	PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION



4-8-19

SHEET 7 OF 9

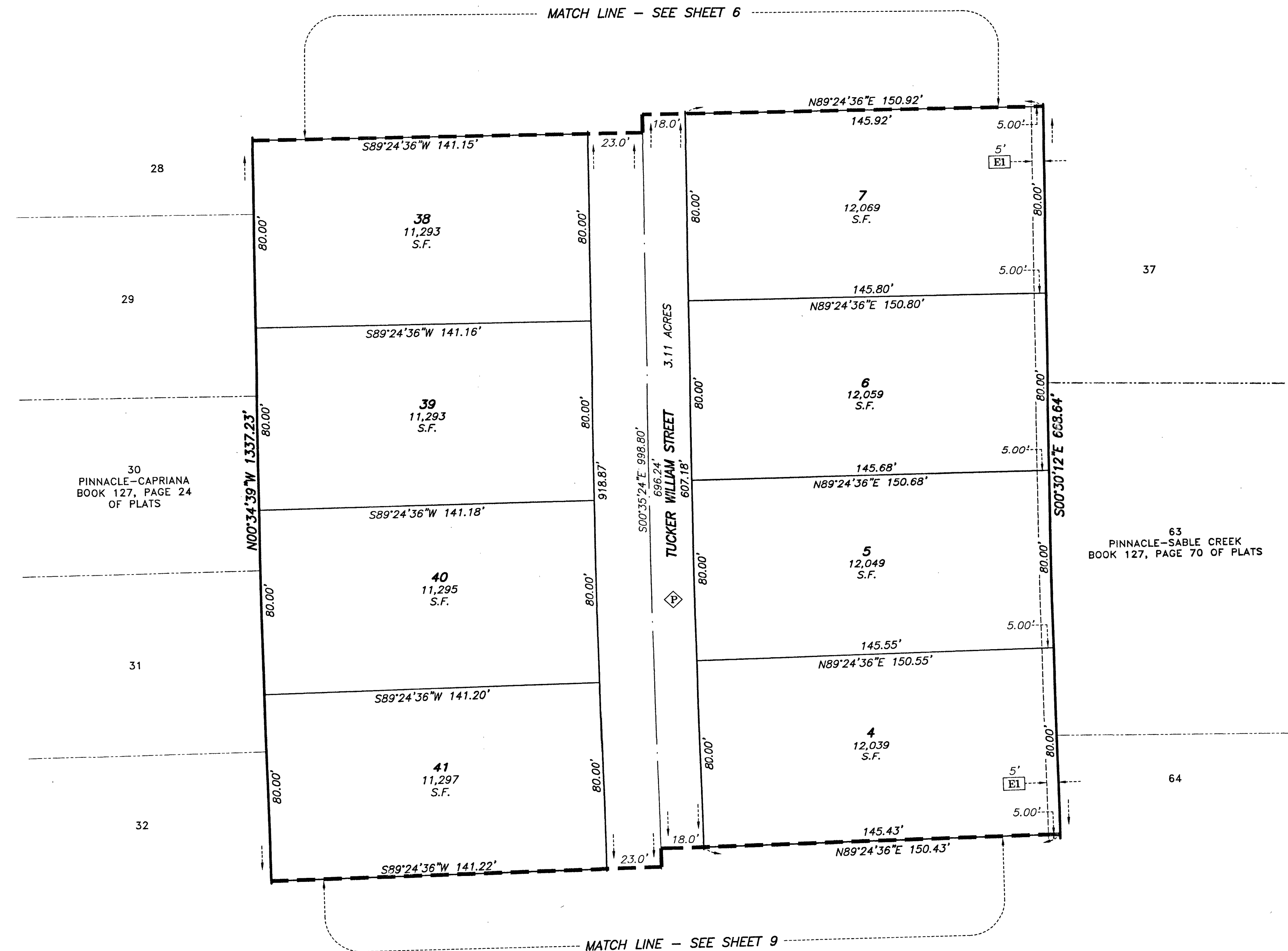
BOOK 159, PAGE 7

FINAL MAP OF FARM HUALAPAI

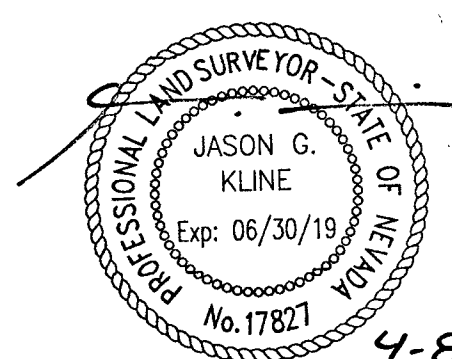
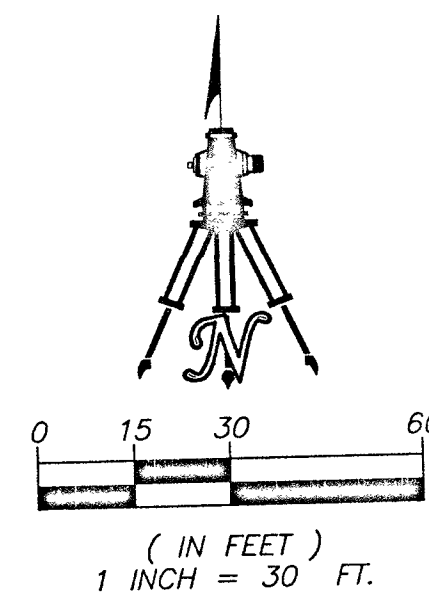
A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	MATCH LINE
	ADJOINING LOT LINE
1	LOT NUMBER
S.F.	SQUARE FEET
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	LANDSCAPE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION



- NOTES
- 1) FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
 - 2) ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.



4-8-19

SHEET 8 OF 9

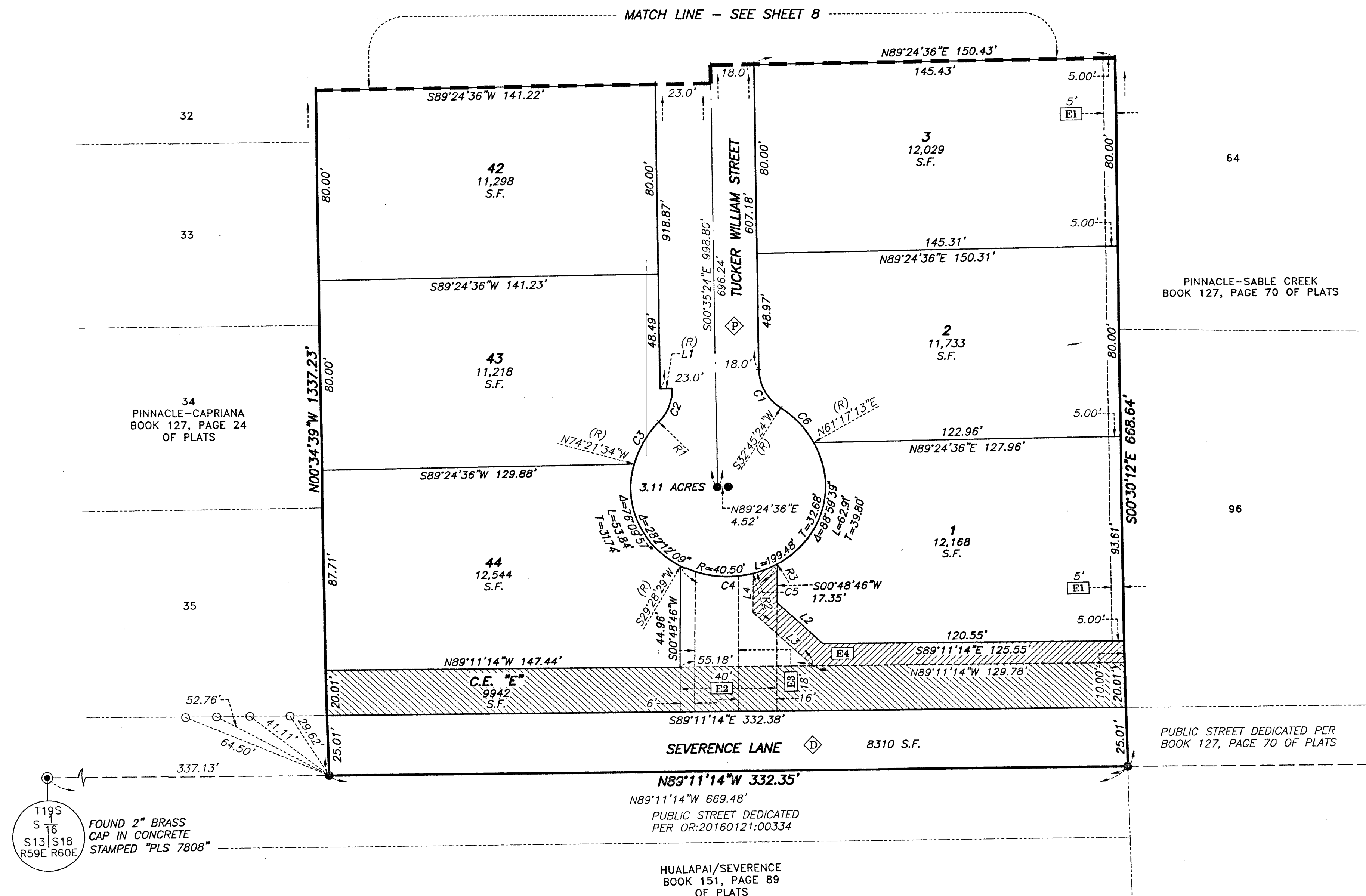
BOOK 159, PAGE 7

FINAL MAP OF FARM HUALAPAI

A COMMON INTEREST COMMUNITY

BEING A SUBDIVISION OF GOVERNMENT LOTS 21, 22, 23 AND 26 OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	RIGHT-OF-WAY LINE
	STREET CENTERLINE
	LOT LINE
	EASEMENT LINE
	MATCH LINE
	SIXTEENTH SECTION LINE
	ADJOINING LOT LINE
1	LOT NUMBER
C.E.	COMMON ELEMENT
OR:	OFFICIAL RECORDS
S.F.	SQUARE FEET
(R)	RADIAL LINE
R1	RADIAL LINE SEGMENT
L1	LINE LABEL SEGMENT
C1	CURVE LABEL SEGMENT
	PUBLIC STREET DEDICATED TO THE CITY OF LAS VEGAS PER THIS PLAT (52,533 S.F.)
	PRIVATE STREET, PUBLIC UTILITY, PUBLIC SEWER, AND PUBLIC DRAINAGE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED (3.11 ACRES)
	FOUND MONUMENTATION AS SHOWN AND DESCRIBED
	FOUND 2" ALUMINUM REFERENCE MONUMENT STAMPED "PLS 14419"
	SET 2" ALUMINUM CAP STAMPED "J. KLINE, PLS 17827" WITH REFERENCE MONUMENTS SET IN TOP OF CURB
	LANDSCAPE EASEMENT GRANTED PER THIS PLAT, TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
	PUBLIC SEWER EASEMENT GRANTED PER THIS PLAT TO BE PRIVATELY MAINTAINED
	18' WIDE EMERGENCY FIRE ACCESS EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION
	10' WIDE PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION
	20' WIDE EQUESTRIAN TRAIL EASEMENT GRANTED TO THE CITY OF LAS VEGAS PER THIS PLAT TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION



FOUND 2" BRASS CAP IN CONCRETE STAMPED "PLS 7808"

CURVE	DELTA	RADIUS	LENGTH	TANGENT
C1	58°39'12"	19.50'	19.28'	10.51'
C2	45°32'57"	19.50'	15.50'	8.19'
C3	29°19'07"	40.50'	20.72'	10.59'
C4	59°11'37"	40.50'	41.84'	23.00'
C5	15°23'47"	40.50'	10.88'	5.47'
C6	28°31'49"	40.50'	20.17'	10.30'

- NOTES
- FOR SIDE PROPERTY LINES: SET CONCRETE NAIL AND BRASS TAG STAMPED PLS 17827 IN THE REAR WALL ALONG THE PROPERTY LINE PROJECTED. SET SAWCUT IN THE BACK OF CURB AT THE FRONT OF THE LOT ON THE PROPERTY LINE PROJECTED. SET 5/8" REBAR AND 2" ALUMINUM CAP STAMPED PLS 17827 WHERE THERE IS NO BLOCK WALL.
 - ALL COMMON ELEMENTS WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 - DIRECT VEHICULAR ACCESS TO SEVERENCE LANE FROM ABUTTING LOTS THROUGH COMMON ELEMENTS IS PROHIBITED.

LINE	BEARING	DISTANCE
L1	S89°24'36"W	5.00'
L2	S45°35'24"E	26.49'
L3	N45°35'24"W	34.78'
L4	S00°48'46"W	17.42'

RADIAL	BEARING
R1	N45°02'27"W
R2	S14°19'21"E
R3	S29°43'08"E

