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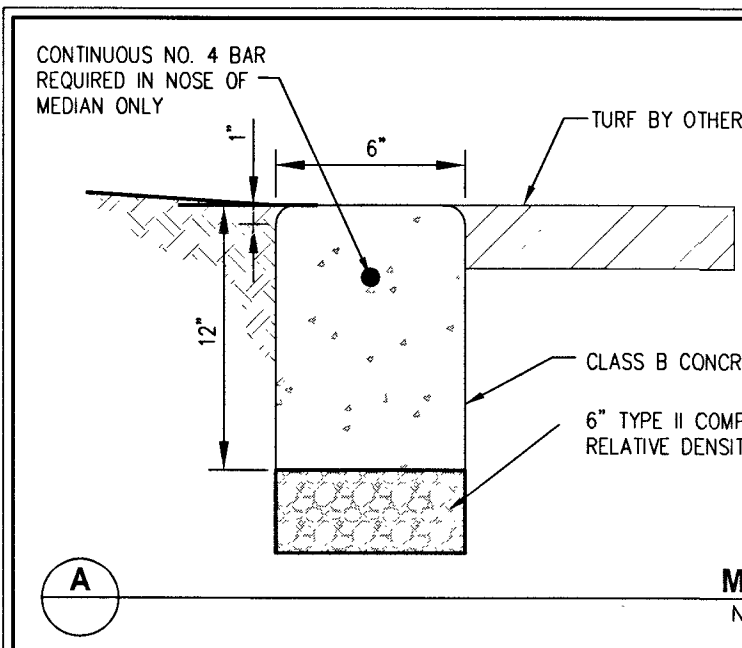
STORMWATER RUNOFF MANAGEMENT

(REQUIRED FOR ALL SITES GREATER THAN 1 ACRE (43,560 SQ.FT.))

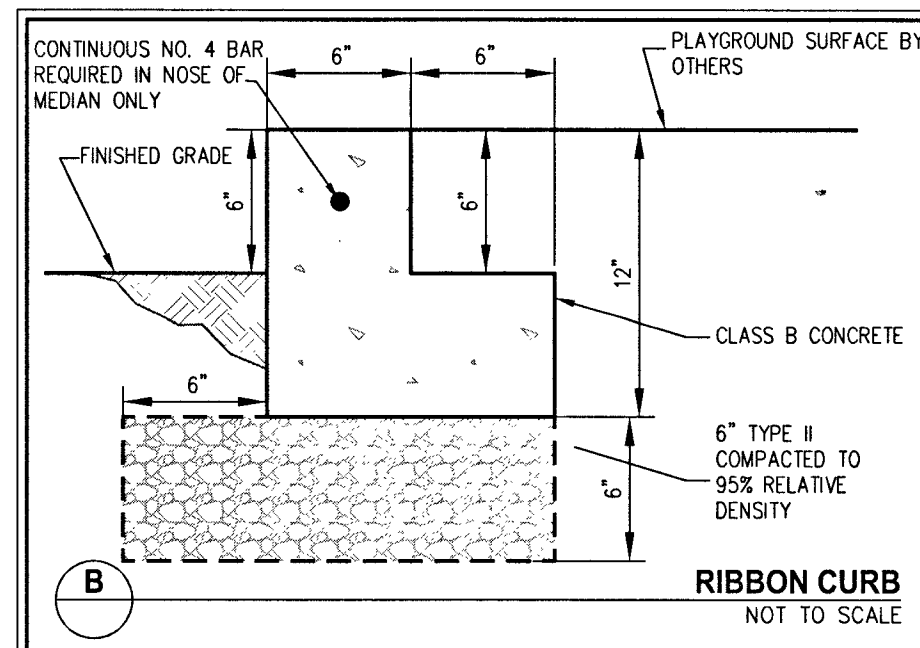
1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT AND CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF CLARK COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN TITLE 24.40 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BEST MANAGEMENT PRACTICES MANUAL.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY, REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.5.
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.12.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

GENERAL NOTES

1. FINAL GRADES ADJACENT TO STRUCTURES SHALL BE IN CONFORMANCE WITH IBC 2006, SECTION 2304.11.2.2.
2. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ALL DISCREPANCIES TO THE ENGINEER.
3. ALL IMPROVEMENTS TO BE PROTECTED FROM EROSION BY SWPPP.
4. ALL PUBLIC AND PRIVATE DRAINAGE IMPROVEMENTS TO BE BONDED FOR AND INSPECTED.
5. CONSTRUCTION OF BLOCK WALLS REQUIRES A SEPARATE BUILDING PERMIT AND APPROVAL.
6. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITY STRUCTURES AND FACILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. CONTRACTOR TO PROTECT IN PLACE DURING CONSTRUCTION. ENGINEER/OWNER SHALL BE NOTIFIED OF PRIOR DAMAGE TO EXISTING FACILITIES PRIOR TO CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR REPAIR/REPLACING FACILITIES IF ENGINEER/OWNER IS NOT NOTIFIED OF EXISTING DAMAGE PRIOR TO CONSTRUCTION COMMENCING.
7. ADD 2800 TO PLAN GRADES, EXCLUDING PAD ELEVATIONS, FF ELEVATIONS, AND EXISTING & PROPOSED CONTOURS.
8. ALL ON-SITE STORM DRAINS AND THE ASSOCIATED FACILITIES ARE PRIVATELY OWNED AND TO BE MAINTAINED.
9. CONTRACTOR TO VERIFY ALL HANDICAP ACCESSIBLE ROUTES AND PARKING SPACES ARE IN CONFORMANCE WITH A.D.A. ACCESSIBILITY GUIDELINES AND DO NOT EXCEED MAXIMUM SLOPES IN ANY DIRECTION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
10. CONSTRUCT A.D.A. ROUTE, HAND RAILS, PARKING, SIGNAGE & RAMPS TO COMPLY WITH ICC/ANSI A117.1-2012.

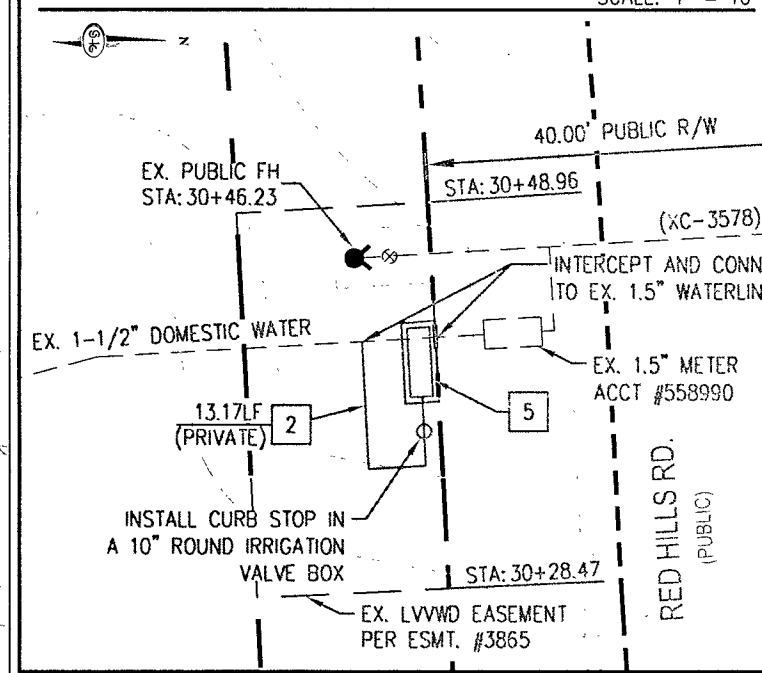


MOW CURB
NOT TO SCALE

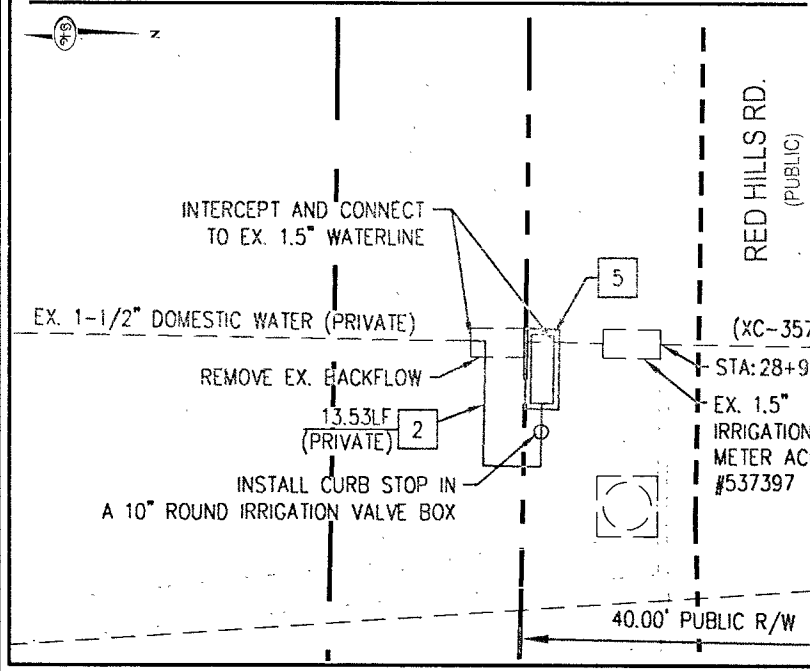


RIBBON CURB
NOT TO SCALE

WATER METER DETAIL - WEST



WATER METER DETAIL - EAST



BENCHMARK

SOUTH 89°15'33\"/>

BASIS OF BEARINGS

CITY OF LAS VEGAS BENCHMARK: 1LV106E4
RIVET & PLATE IN TOP OF CURB AT NORTHEAST CORNER OF PRAKNESS PASS DRIVE & RED HILLS ROAD.
ELEVATION = 850.799 METERS (NAVD'83)
ELEVATION = 2791.33 US SURVEY FEET (NAVD'83)

GRADING CONSTRUCTION NOTES

1. CONSTRUCT SIDEWALK PER CCAUSD 234.
2. CONSTRUCT CONCRETE MOW CURB PER DETAIL 'A' THIS SHEET.
3. CONSTRUCT RIBBON CURB PER DETAIL 'B' THIS SHEET.

WATER CONSTRUCTION NOTES

1. FOR CONNECTION AT BUILDING SEE PLUMBING PLANS BY OTHERS.
2. INSTALL 1-1/2\"/>
3. INSTALL 45° BEND AS SHOWN.
4. INSTALL 22.5° BEND AS SHOWN.
5. INSTALL 1.5\"/>

SEWER CONSTRUCTION NOTES

1. FOR CONNECTION AT BUILDING SEE PLUMBING PLANS BY OTHERS.
2. INSTALL 4\"/>

QUANTITIES

WATER SYSTEM	PRIVATE	PUBLIC
1. 1-1/2\"/>	EA	2

FIRE FLOW CALCULATIONS

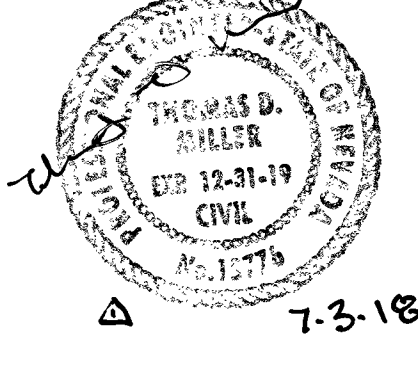
FIRE FLOW 1,500 GPM AT 20 P.S.I. RESIDUAL.	
USE/OCCUPANCY	S-2
TYPE OF CONSTRUCTION (IBC)	TYPE V-B
SQUARE FOOTAGE	570 SF
LARGEST AREA BETWEEN 4 HOUR WALLS	570 SF
BUILDING HEIGHT	16'-0"
NO OF STORES INCLUDING BASEMENT	1
FIRE SPRINKLER	NO
NO OF HYDRANTS INSTALLED	0

APPROVAL

[Signature] 2/8/18
LAS VEGAS FIRE AND RESCUE DATE

APPROVED FOR CONSTRUCTION

[Signature] 7/9/18
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES
PROJECT NO. 128251 FIRST APPROVED DATE: 7/9/18
LVWD APPROVED FIRE FLOW: TOTAL 1,500 GPM/ONSITE, N/A GPM



SLATER
HANIFAN
GROUP
CONSULTING ENGINEERS & PLANNERS

5740 S. ARVILLE STREET #216, LAS VEGAS, NV 89118
PHONE (702) 284-5300 FAX (702) 284-5399

DATE: 02/07/18
DRAFTER: BP
DESIGNER: BP
CHECKED: BP
PROJECT NO. PRA1801-000

PROFESSIONAL ENGINEER - STATE OF NEVADA
JERRY J. SLATER
CIVIL
No. 14167
Exp. 06/30/2018

G-1
SHEET 3 OF 3
107V7230
L18-00140

PECCOLE RANCH COMMUNITY MASTER ASSOCIATION
PECCOLE RANCH AMENITY UPGRADES
SITE, GRADING AND UTILITY PLAN

APN: 163-06-610-001
SCHOOL BOARD OF TRUSTEES

APN: 163-06-610-002
PECCOLE RANCH COMMUNITY MASTER ASSOCIATION

APN: 163-06-610-003
PECCOLE RANCH COMMUNITY MASTER ASSOCIATION