

DISCLAIMER NOTE:

UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UNDERGROUND OR OVERHEAD UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION. CONTRACTOR TO NOTIFY ENGINEER OF ANY CHANGES OR DISCREPANCIES.

Avoid overhead power line contact, if a costly.
Call before you dig
1-800-227-2929
Nevada Power
Environment and Safety
Services Department

CONSTRUCTION NOTES

1. CONSTRUCT AC PAVEMENT PER DETAIL 1, ON SHEET D-1
2. CONSTRUCT 24" "L" TYPE CURB AND GUTTER PER USDOCA # 216
3. CONSTRUCT 8" CROSS GUTTER PER USDOCA # 228
4. CONSTRUCT 6" HIGH WROUGHT IRON FENCE PER DETAIL 21 ON SHEET D-2
5. CONSTRUCT 17.5" MODIFIED TYPE "C" DROP INLET PER USDOCA # 421 & DETAIL 25 ON SHEET D-2
6. REMOVE EXISTING RIP RAP AND CONNECT TO EXISTING AC PAVEMENT
7. EXISTING STORM DRAIN MANHOLE RIM TO BE ADJUSTED TO FINISH GRADE
8. SEE DETAIL 17 SHEET D-1 FOR CUT AND CAP STORM DRAIN PIPE
9. EXISTING SEWER MANHOLE RIM TO BE ADJUSTED TO FINISH GRADE

BUILDING PERMIT NOTE

ALL STRUCTURES SHOWN OR INDICATED ON THIS SUBMITTAL WITHIN THE PROPERTY REQUIRE A BUILDING PERMIT APPLICATION AND SUBMITTAL THIS INCLUDES BUILDINGS, ABOVE GROUND TANKS, SIGNS, RETAINING WALLS, FENCES, TRASH ENCLOSURES, SHADE STRUCTURES, STAIRWAYS, RAMPS, LIGHT POLES, LIGHT BOLLARDS, ETC. THIS DOES NOT INCLUDE ANY FLOOD CONTROL STRUCTURE SUCH AS PIPES, CULVERTS, ARCH CULVERTS, HEADWALLS, ETC. THIS DOES NOT INCLUDE ANY WORK WITHIN A PUBLIC STREET RIGHT-OF-WAY. THIS DOES NOT INCLUDE PRIVATE STREETS. THE REVIEW OF CIVIL IMPROVEMENT AND/OR GRADING PLANS DOES NOT INCLUDE ANY REVIEW OF ANY STRUCTURE THAT REQUIRES A BUILDING PERMIT APPLICATION.

SIGHT VISIBILITY ZONE

NO STRUCTURE, VEGETATION, OR OBJECTS OF ANY KIND IS PERMITTED OVER TWENTY-FOUR (24) INCHES IN HEIGHT (MEASURED FROM THE TOP OF THE ADJACENT CURB IF CURB EXISTS) WITHIN THE SIGHT VISIBILITY ZONES.

FLOOD ZONE NOTE

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NUMBER 52003C1750E DATED SEPTEMBER 27, 2002, THE SITE IS LOCATED IN A ZONE "X".

NOTE

ALL PRIVATE STREETS ARE P.U.E., PUBLIC SEWER EASEMENTS AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA.

ENGINEERS NOTES

1. CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
2. SEE DETAIL SHEET FOR ON-SITE PAVEMENT SECTIONS. CONTRACTOR TO VERIFY WITH SOILS REPORT.
3. SEE FINAL MAP FOR EXACT PROPERTY LINE DIMENSIONS.
4. ENGINEER TO BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.
5. THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNLESS APPROVED AND SIGNED BY THE GOVERNING AGENCIES.
6. ALL GRADING SHALL CONFORM TO SOILS REPORT RECOMMENDATIONS.
7. DURING CONSTRUCTION, SURVEYORS AND CONTRACTORS MUST VERIFY THAT ALL STREETS AND LOTS HAVE POSITIVE DRAINAGE. SAME MUST UTILIZE AT LEAST THREE GRADES ON VERTICAL TANGENTS TO VERIFY SLOPES.
8. SOIL REPORT NOTE:
GRADING SHALL BE IN ACCORDANCE WITH SOILS REPORT PREPARED BY:
ENGINEER: NOVA GEOTECHNICAL
PROJECT NO. E03-257
DATED: OCTOBER 3, 2003
UPDATED: SEPTEMBER 11, 2013
9. CUT/FILL ESTIMATES
EXISTING TO FINISH GRADE ELEVATIONS
NET CUT: 24.483
NET FILL: 24.483
10. SEE DETAIL 19/D-1 FOR TYPICAL LOT DRAINAGE
11. FOR STORMWATER RUNOFF MANAGEMENT NOTES REFER TO SHEET N-1
12. ALL "L" CURB TRANSITION AT DRIVEWAYS TO BE 2' IN LENGTH.

BENCHMARK

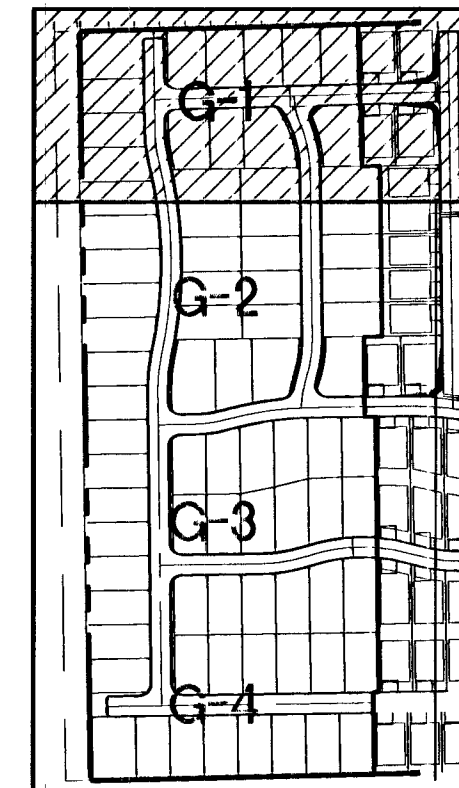
CITY OF LAS VEGAS BENCHMARK 6LV99 24NNW6
RIVET & PLATE CONCRETE PAD (ELECTRIC) 200' +/- SW OF P.I. OF ELKHORN RD & SCHAMBER RD (LANSFORD ST)
ELEVATION = 914.637 METERS (2008 ADJUSTMENT)
ELEVATION = 3000.77 U.S. SURVEY FEET (2008 ADJUSTMENT)

BASIS OF BEARINGS

NORTH 00°45'09" EAST BEING THE BEARING OF THE EAST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 13, TOWNSHIP 19 SOUTH, RANGE 59 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE CLARK COUNTY'S RECORDER'S OFFICE IN BOOK 118, PAGE 88 OF PLATS.

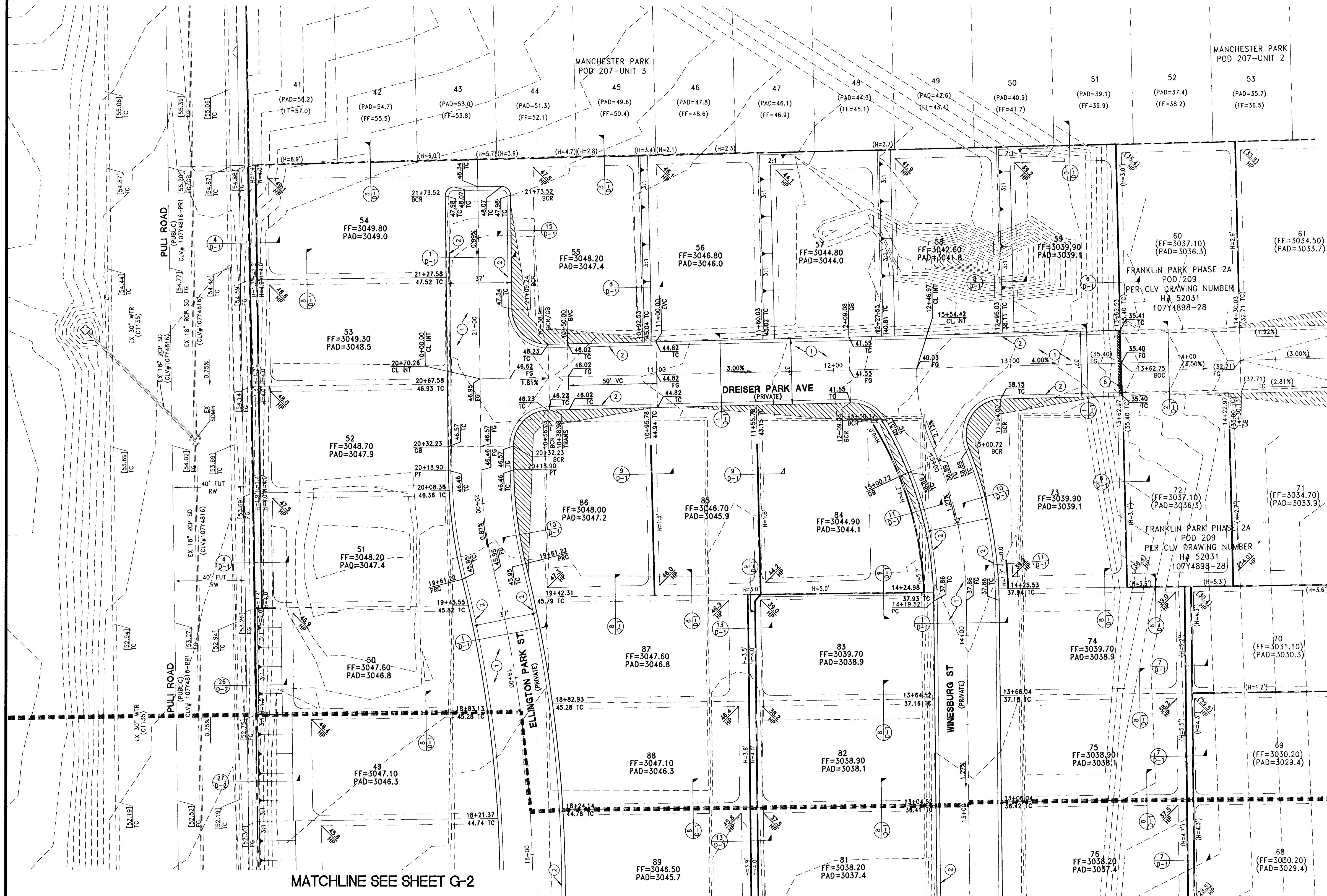
SURVEY MONUMENT NOTE

OWNER RESPONSIBLE TO PROVIDE SURVEY MONUMENTATION AS REQUIRED BY CLARK COUNTY PUBLIC WORKS AND CLARK COUNTY UNIFORM STANDARD DRAWING NUMBER 243. OWNER IS ALSO RESPONSIBLE TO REPLACE ALL SURVEY MONUMENTATION DAMAGED, DESTROYED, OR OBTUSCURED DURING CONSTRUCTION.



SITE PLAN
NOT TO SCALE

30' 15' 0' 30' 60'
SCALE: 1" = 30'



MATCHLINE SEE SHEET G-2

MATCHLINE SEE SHEET G-2

TOLL NORTH LV, LLC
1140 TOWN CENTER DRIVE SUITE 250
LAS VEGAS, NV 89144
PHONE: 702-433-8800 FAX: 702-433-8810

Engineering
RCI
4325 Dean Martin Drive Suite 300, Las Vegas, NV 89103
PHONE: 702-433-8800 FAX: 702-433-8810

IMPROVEMENT PLANS FOR
FRANKLIN PARK AT PROVIDENCE II PHASE 3
A SINGLE FAMILY RESIDENTIAL SUBDIVISION
GRADING PLAN (SHEET 1 OF 4)

PROFESSIONAL ENGINEER
JOHN I. LAND
Exp. 12/31/2015
CIVIL
No. 16441 (TOWNSHIP)
2/26/2015

DRAWING
G-1
SHT 4 OF 32

DWG # 107Y4898-3
CLV H #55814

I HEREBY CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY DS #4700B ON FILE WITH CITY OF LAS VEGAS FOR THIS PROJECT.
John I. Land
JOHN I. LAND, PE NO. 16441
DATE 2/26/2015