

ESTIMATE OF QUANTITIES

ESTIMATE OF PUBLIC QUANTITIES FOR PERMITTING PURPOSES ONLY			
STREET IMPROVEMENTS	PRIVATE	PUBLIC	TOTAL
4" SIDEWALK OVER 8" TYPE	0 SF	1373 SF	1373 SF
2FT 'L' CURB & GUTTER	0 LF	97 LF	97 LF

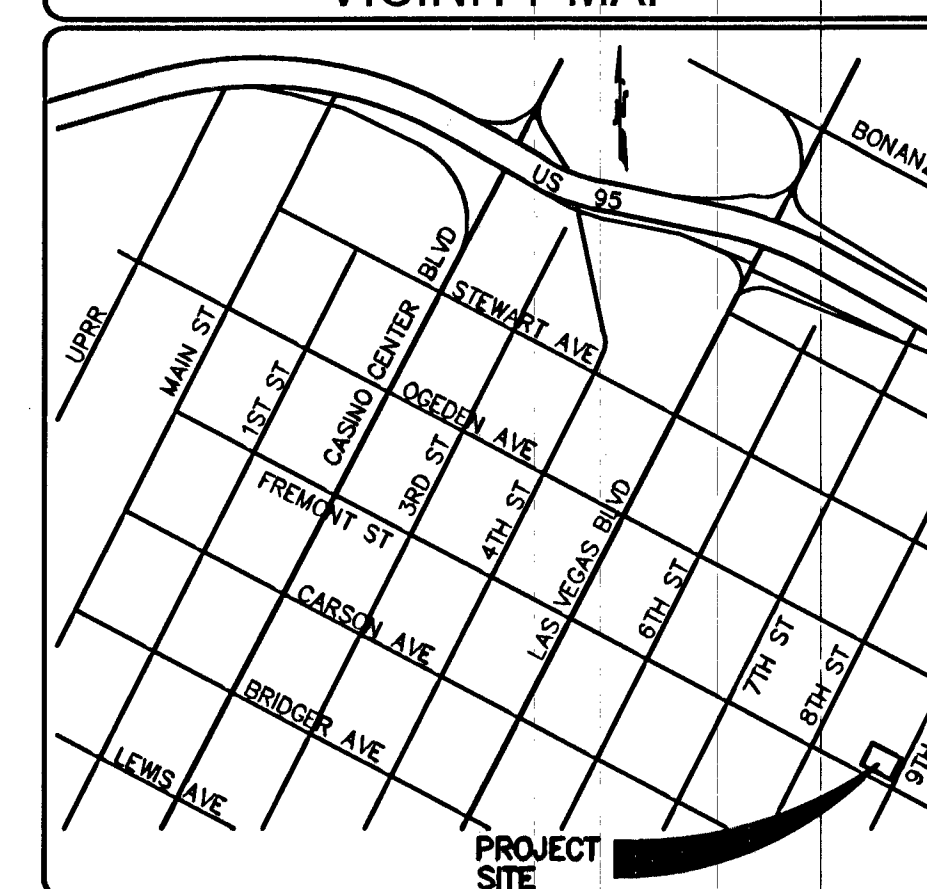
NOTICE TO CONTRACTORS:

QUANTITIES SHOWN ARE FOR PERMITTING PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING HIS OWN QUANTITY TAKE OFF, AND BID ACCORDINGLY.

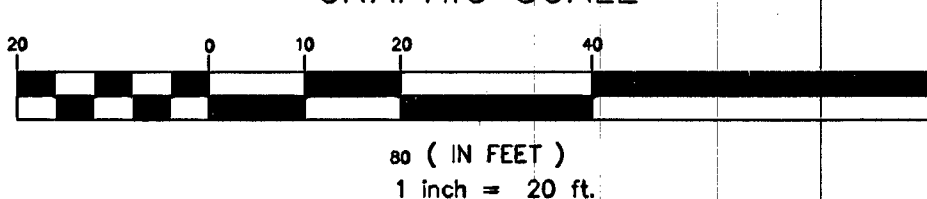
CONSTRUCTION NOTES

1. INSTALL TRASH ENCLOSURE PER ARCHITECTURAL PLANS
2. INSTALL PRECAST CONCRETE PAVERS PER ARCHITECTURAL PLANS
3. INSTALL GRASS LANDSCAPE PER ARCHITECTURAL PLANS
4. INSTALL COBBLE ROCK LANDSCAPE PER ARCHITECTURAL PLANS
5. INSTALL PERIMETER FENCE PER ARCHITECTURAL PLANS
6. INSTALL FENCE PER ARCHITECTURAL PLANS
7. INSTALL 2FT HIGH CONCRETE KNEE WALL (SEAT WALL) PER ARCHITECTURAL PLANS
8. INSTALL 6" WIDE LANDSCAPE CURB PER ARCHITECTURAL PLANS
9. INSTALL 8" WIDE LANDSCAPE CURB PER ARCHITECTURAL PLANS
10. INSTALL CONCRETE PAD FOR WATER FEATURE PER ARCHITECTURAL PLANS
11. INSTALL ART FEATURE PER ARCHITECTURAL PLAN
12. INSTALL GATE
13. INSTALL "DOG BOW" PLANTER PER ARCHITECTURAL PLANS
14. INSTALL MAINTENANCE SLIDING GATE PER ARCHITECTURAL PLANS
15. INSTALL SPLASH FEATURE/SPLASH PAD PER ARCHITECTURAL PLANS
16. EXISTING PARKING LIGHT IS TO REMAIN IN PLACE
17. INSTALL BOULDER PER LANDSCAPE PLAN
18. REMOVE AND REPLACE EXISTING CONCRETE CURB AND GUTTER PER COUSD # 216
19. REMOVE AND REPLACE EXISTING CONCRETE DRIVEWAY AND SIDEWALK WITH 15FT WIDE SIDEWALK PER COUSD # 234
20. INSTALL 5FT X 5FT PLANTER FILLED WITH CRUSHED GRANITE 20FT ON CENTER, SEE DETAIL F, THIS SHEET
21. DEDICATE TO CITY OF LAS VEGAS: R=10' L=15.93'

VICINITY MAP



GRAPHIC SCALE



LEGEND/ABBREVIATIONS

CONC	CONCRETE SURFACE ELEVATION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
NTS	NOT TO SCALE
TC	TOP OF CURB ELEVATION
SW	SIDEWALK ELEVATION
	PROPOSED GRADE
	EXISTING GRADE
	PROPERTY LINE
	STREET CENTERLINE
	EXISTING IMPROVEMENTS
	CROSS-SECTION DETAIL
	EXISTING 5' CONTOURS
	EXISTING 1' CONTOURS
	EXISTING STREET LIGHT

SWPPP NOTES

1. THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF THE CITY OF LAS VEGAS AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.

2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE CITY OF LAS VEGAS, TITLE 19 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.

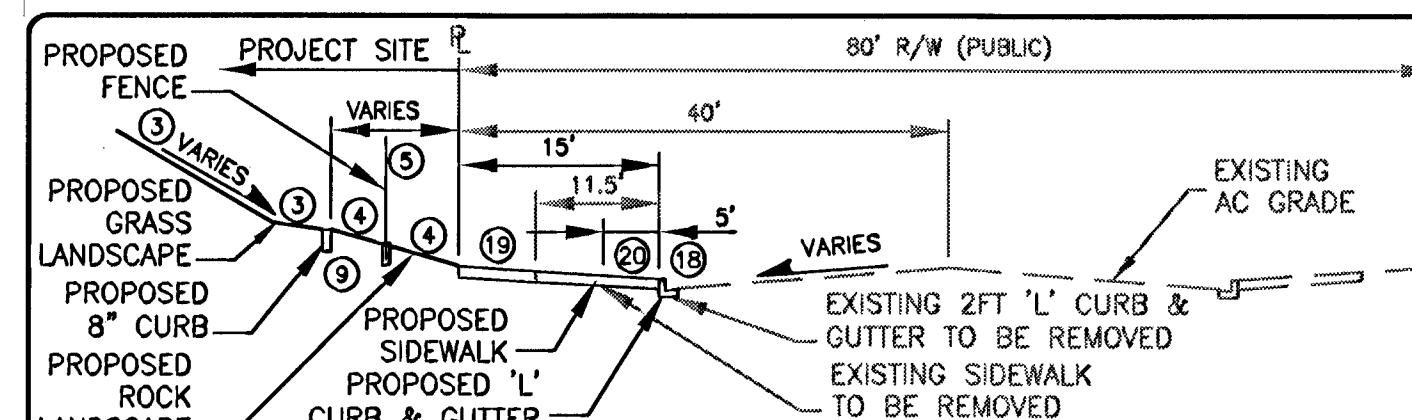
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY, REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.5.

4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OR MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NVR100000, SECTION III.A.12.

5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

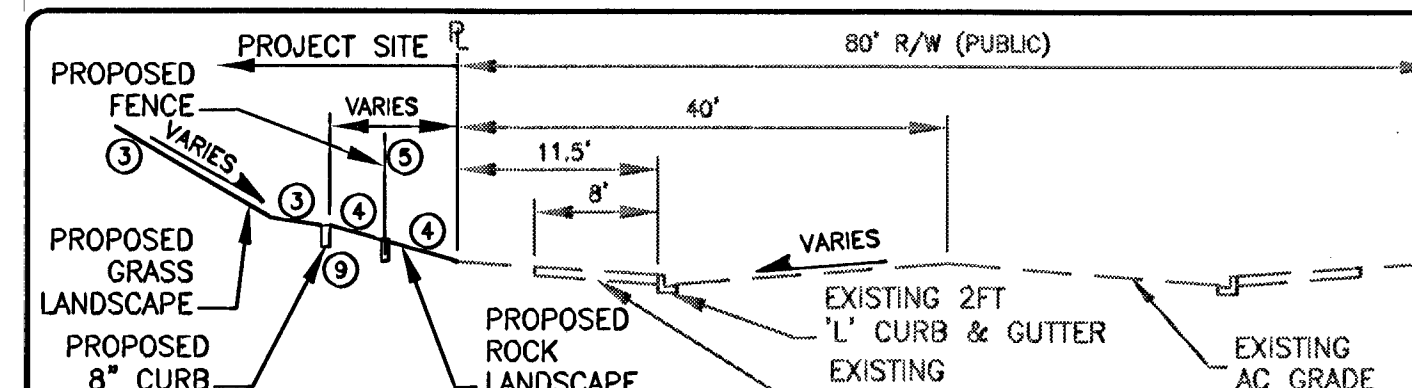
PROPOSED BUILDING IMPROVEMENTS PLAN VIEW

SCALE: 1"=10'



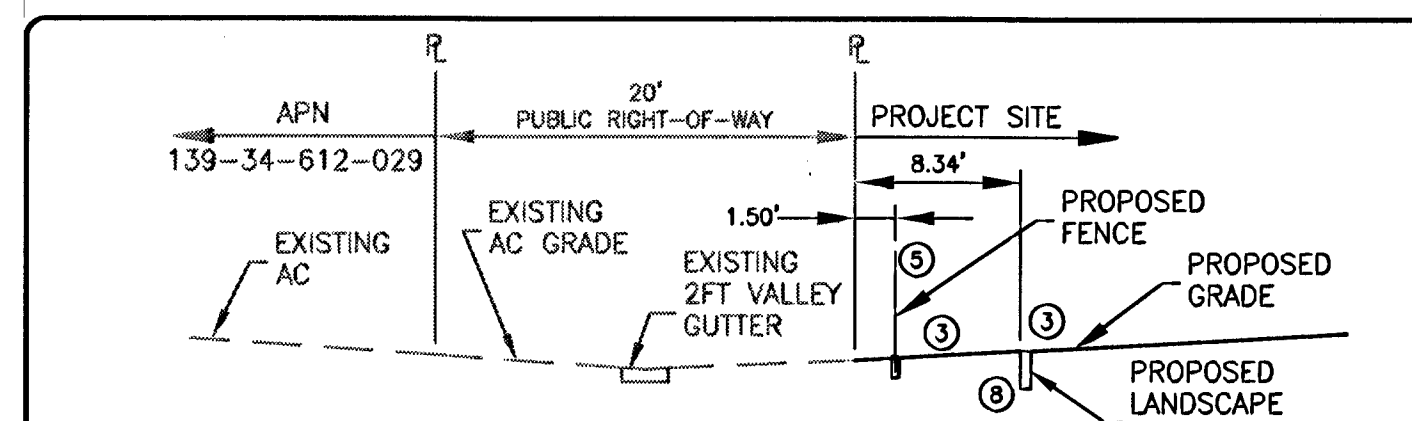
9TH STREET CROSS SECTION PROFILE VIEW

SCALE: NTS



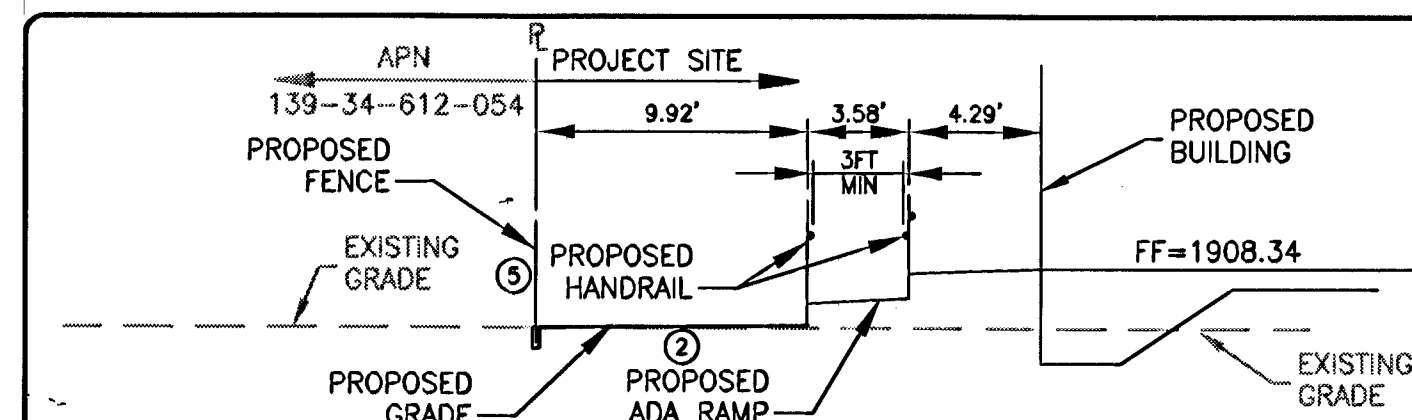
FREMONT STREET CROSS SECTION PROFILE VIEW

SCALE: NTS



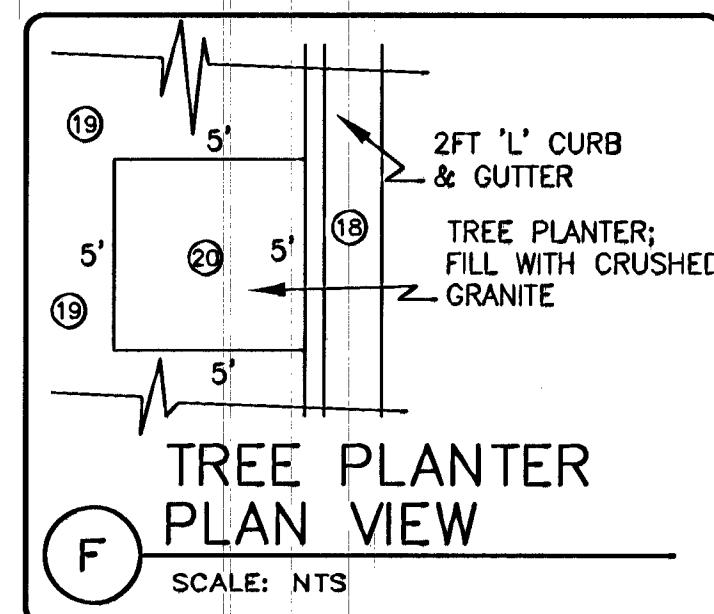
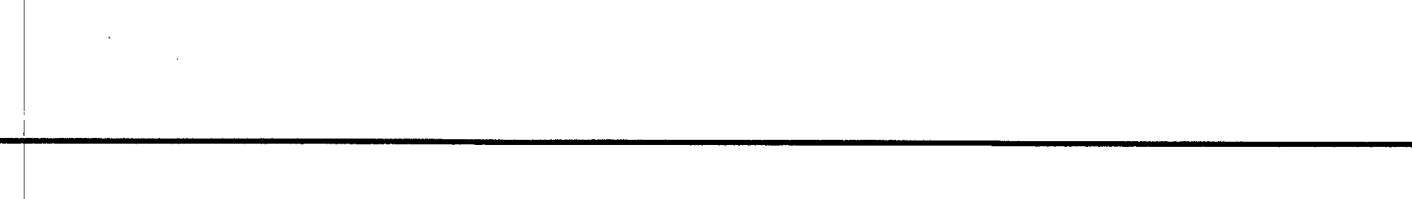
ALLEY CROSS SECTION PROFILE VIEW

SCALE: NTS



NORTH PROPERTY LINE CROSS SECTION PROFILE VIEW

SCALE: NTS



SCALE: NTS



ENGINEER'S NOTES

1. CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
3. ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.

NOTES

1. THERE ARE EXISTING STRUCTURES AND FACILITIES ON THE PROPERTY.
2. THERE ARE NO EXISTING IRRIGATION OR DRAINAGE EASEMENTS ON THE PROPERTY.
3. THERE ARE NO EXISTING STORM DRAINS ADJACENT TO THE SITE ON FREMONT STREET OR 9TH STREET.
4. ALL LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE.

BASIS OF BEARING

NORTH 62°15' WEST BEING THE BEARING OF THE CENTERLINE OF FREMONT STREET, AS SHOWN ON THE FINAL PLAT OF HAWKINS ADDITION TO THE CITY OF LAS VEGAS ON FILE IN BOOK 1, PAGE 40 OF PLATS, IN THE OFFICE OF THE CLARK COUNTY RECORDER, CLARK COUNTY, NEVADA.

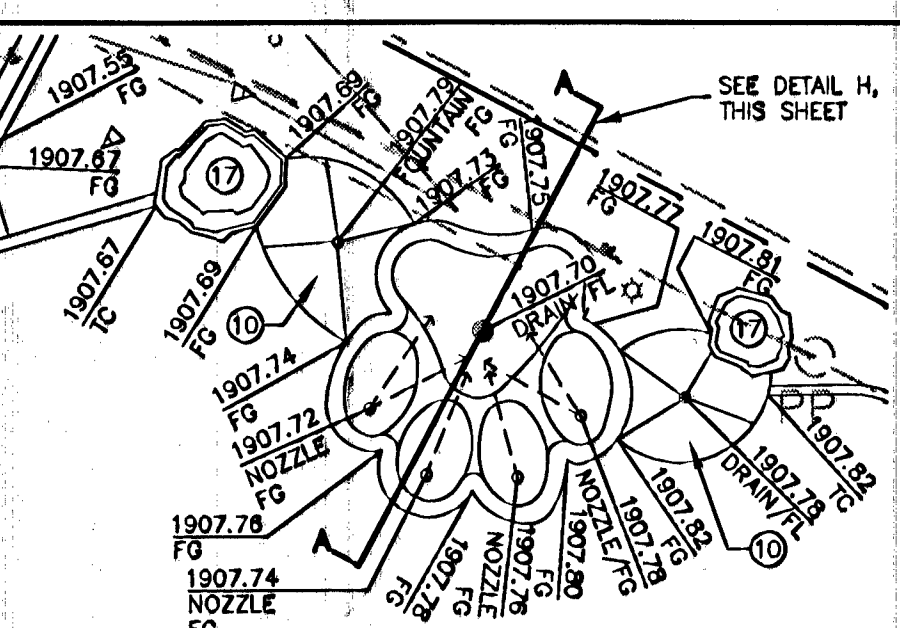
BENCHMARK

CITY OF LAS VEGAS BENCHMARK NO. BLV0134N6, DESCRIBED AS A RIVET AND PLATE IN TOP OF CURB IN THE SOUTHWEST CORNER OF LAS VEGAS BOULEVARD AND FREMONT ST.

ELEVATION = 2007.31 FT./611.829 M

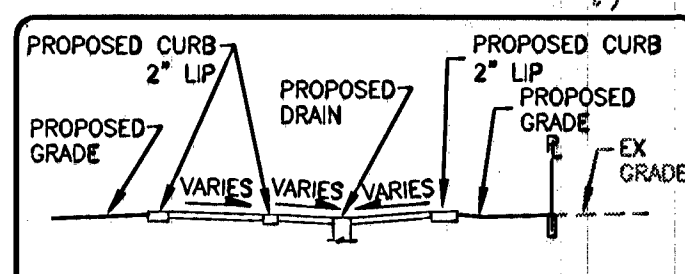
PROPOSED SPLASH PAD PLAN VIEW

SCALE: 1"=10'



SPLASH PAD SECTION A

SCALE: 1"=10'



OWNER/DEVELOPER: 900 FREMONT LLC

2721 IRONSIDE DRIVE
LAS VEGAS, NEVADA 89101
PHONE (702) 374-8409

ENGINEER:

HAUNTEC

2721 IRONSIDE DRIVE
LAS VEGAS, NEVADA 89101
PHONE (702) 219-5765

GRADING PLAN

PROJECT: DOWNTOWN DOG PARK
FREMONT STREET AND 9TH STREET
CITY OF LAS VEGAS, NEVADADESIGNER:
DRAWN BY:

JOB NO. 13-0017

SHEET NO. C1

3 OF 5

CLV DWG NO. 107V6131

H#: 50780