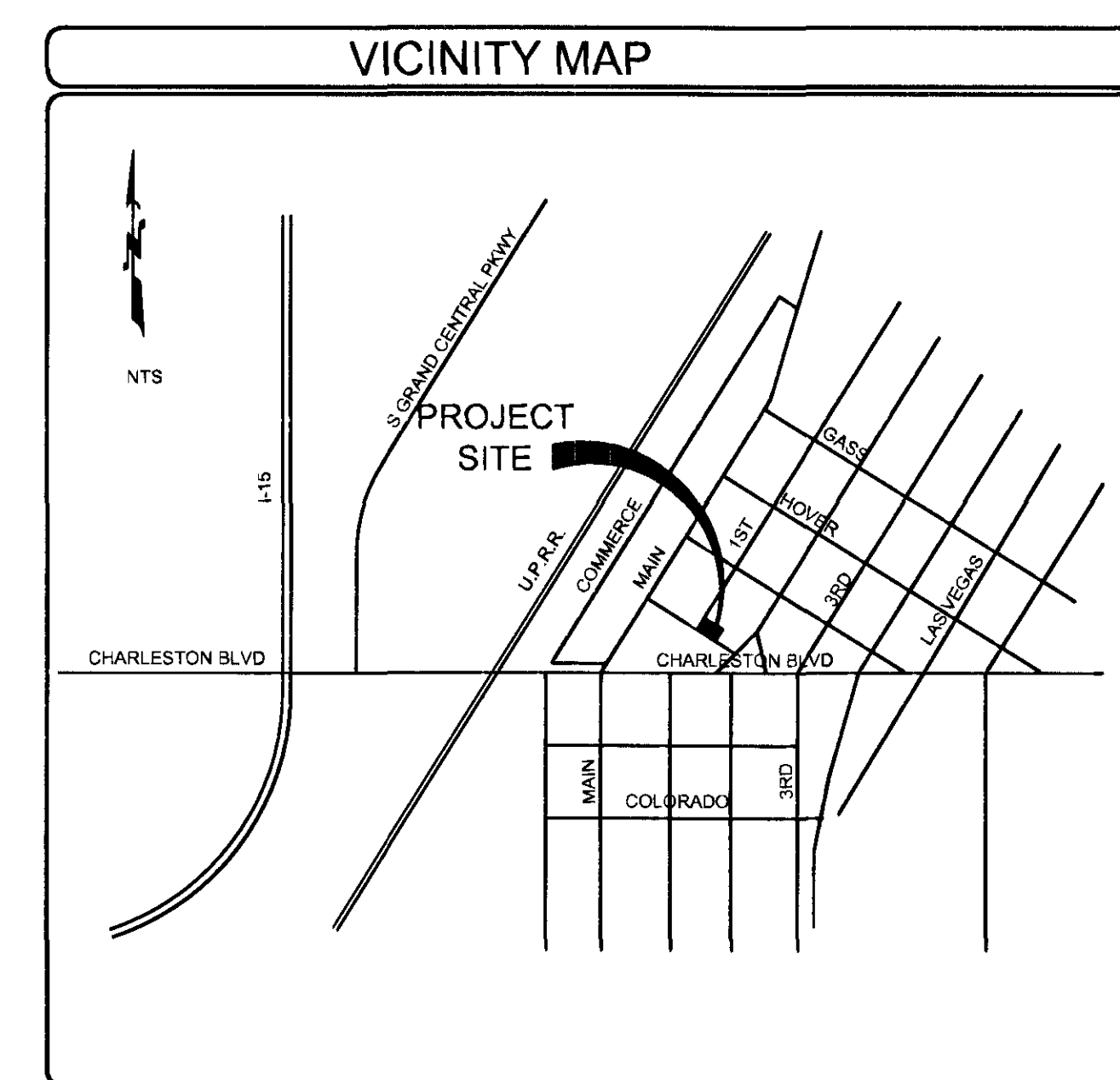
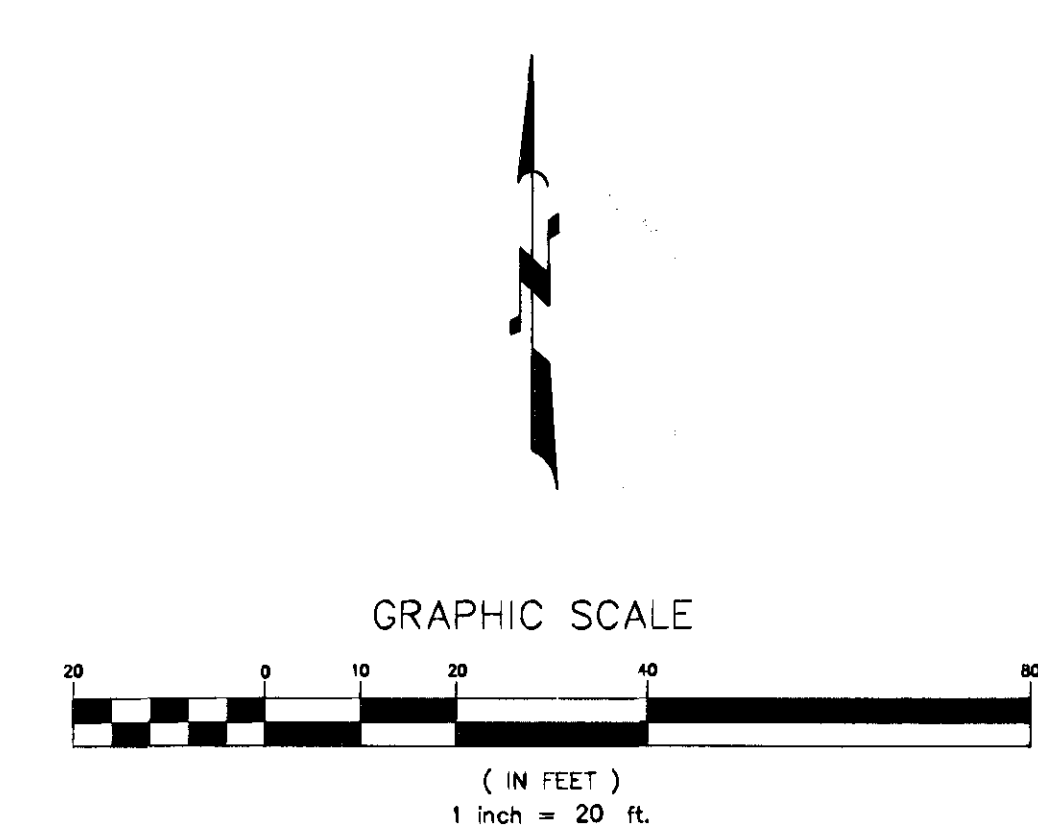
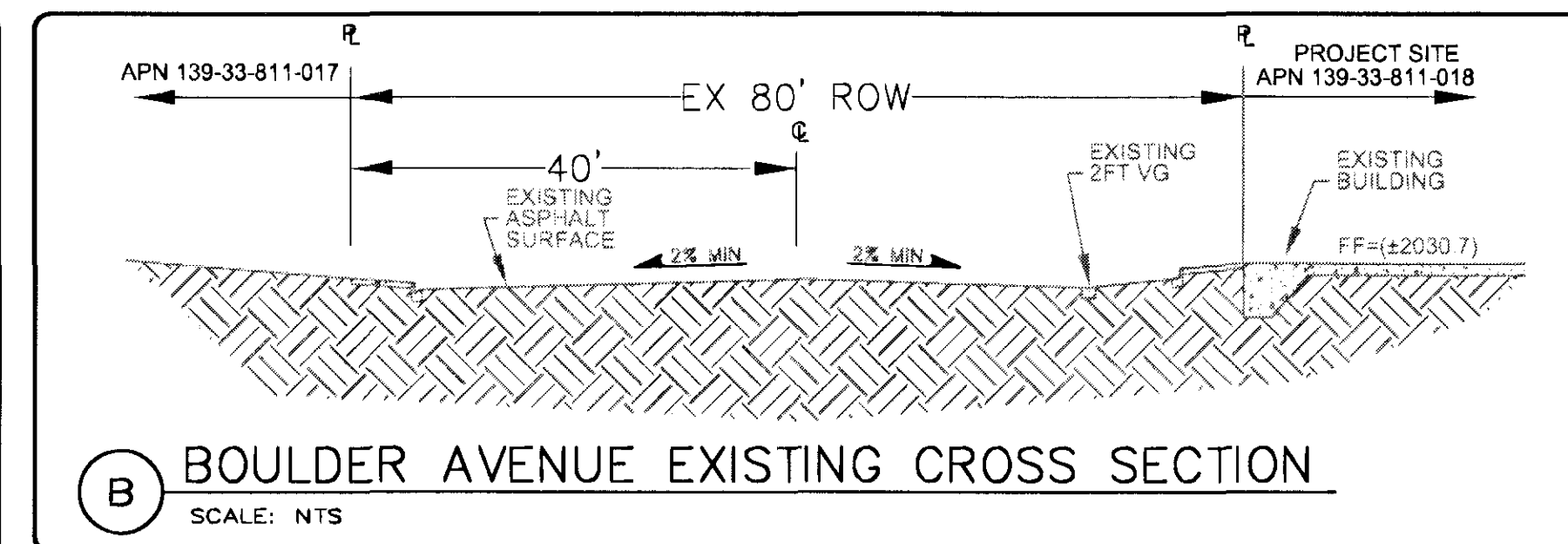
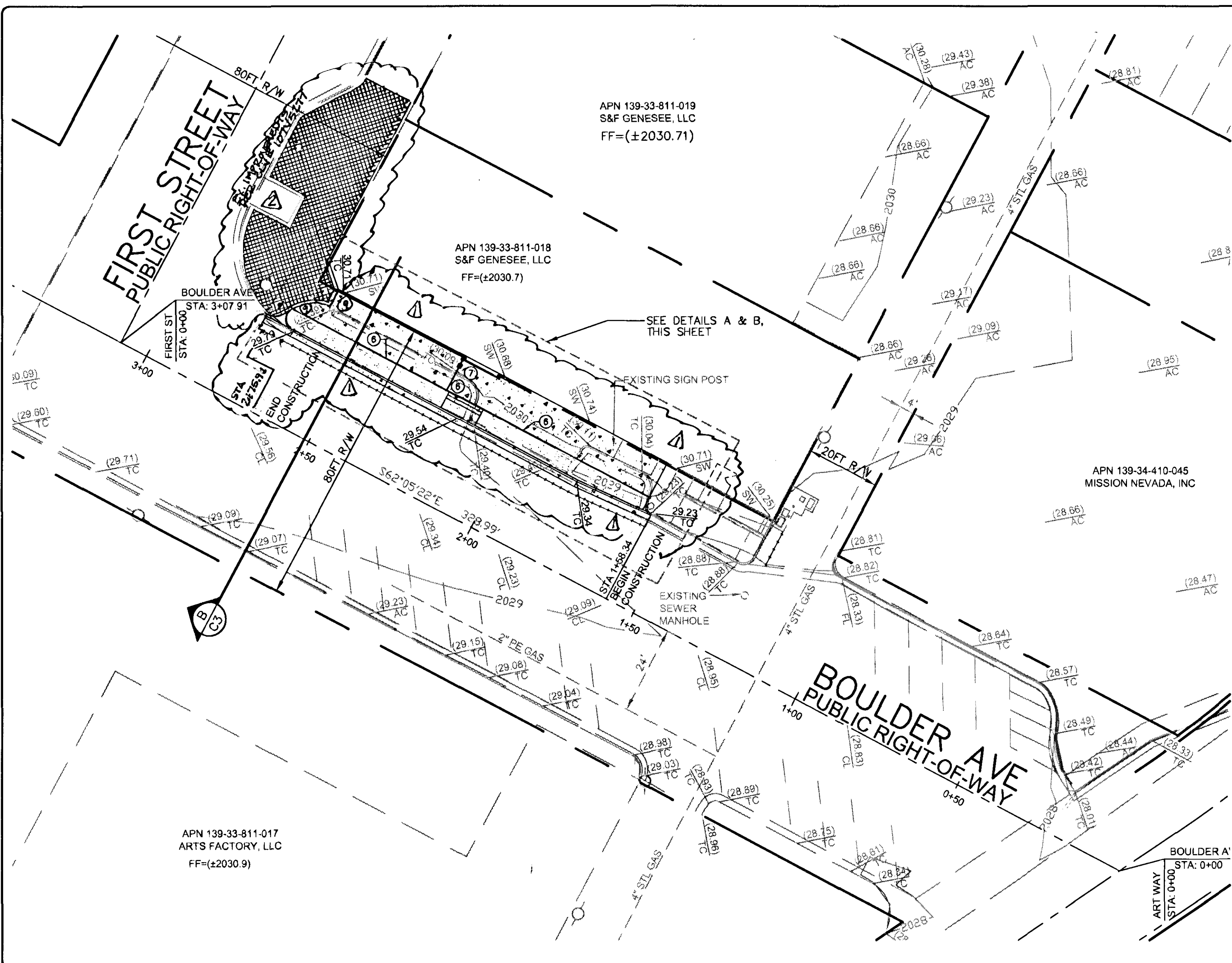


**A** PROPOSED SIDEWALK IMPROVEMENTS (PLAN)  
 SCALE: 1"=10'

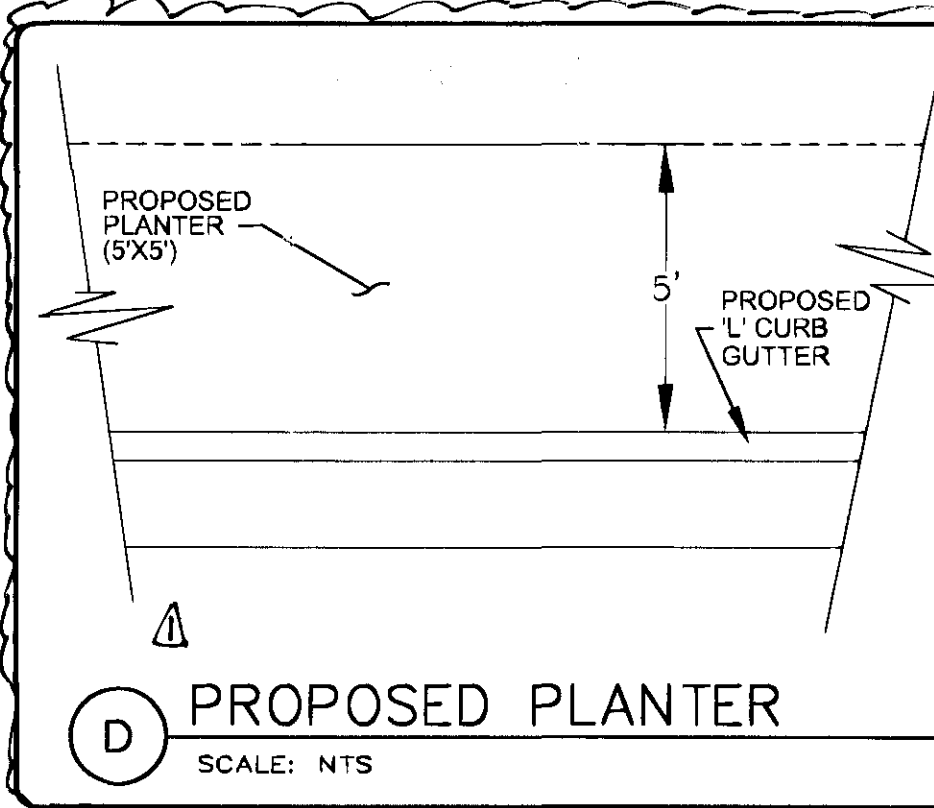
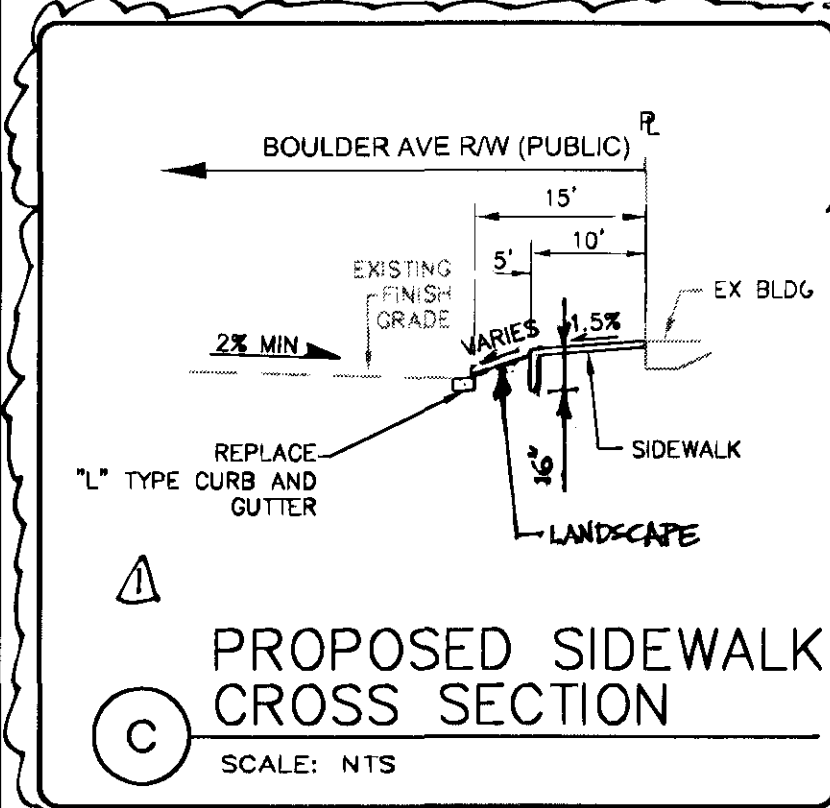


NO.	DATE	BY	REVISIONS
1	1/25/12	JMH	REVISE PLANTER AREA
2	1/25/12	JMH	ADD 15' ST. IMPROVEMENTS
3	1/25/12	JMH	KS 1/5/12



**LEGEND/ABBREVIATIONS**

C.L.	COMMON LOT
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
FL	FLOW LINE ELEVATION
GB	GRADE BREAK
GF	GARAGE FINISHED FLOOR ELEVATION
PDE	PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY HOME OWNERS ASSOCIATION
TC	TOP OF CURB ELEVATION
TF	TOP OF FOOTING ELEVATION
TW	TOP OF RETAINING WALL ELEVATION
W	WATER BOX & COVER
	PROPOSED GRADE
	EXISTING GRADE
	RETAINING WALL
	PROPOSED 18" C905 STORM DRAIN
	PARKING STALL NUMBER
	CROSS-SECTION DETAIL
	EXISTING 5' CONTOURS
	EXISTING 1' CONTOURS
	PERIMETER WROUGHT IRON FENCE



**SYMBOLS**

	EXISTING STREET LIGHT
	PROPERTY LINE
	STREET CENTERLINE
	EXISTING IMPROVEMENTS
NTS	NOT TO SCALE
98.63	PROPOSED ELEVATION
(98.63)	EXISTING ELEVATION
	PROPOSED IMPROVEMENTS
	NEW RATE & FLOW DIRECTION

- CONSTRUCTION NOTES**
- CONSTRUCT 24" L" TYPE CURB & GUTTER PER STD DWG #218
  - CONSTRUCT CONCRETE SIDEWALK PER STD DWG #234
  - SAWCUT AND REPLACE ASPHALT (2FT WIDE)
  - SAWCUT MATCH EXISTING CONCRETE SIDEWALK
  - PRIOR TO DIGGING THE HOLE FOR THE TREE, THE CONTRACTOR IS TO POT HOLE THE PLANTER AREA TO ENSURE NO INTERACTION BETWEEN TREE ROOT BALL AND UTILITY LINES.
  - INSTALL 3/4" PVC IRRIGATION LINE WITH DRIP EMITTERS (422)
  - INSTALL 3/4" VALVE AND BACK FLOW PREVENTER
  - INSTALL 24" BOX SHADE TREE (SOUTHERN LIVE OAKS) (422)
  - PROTECT EXISTING IMPROVEMENTS ON FIRST STREET INCLUDING CONCRETE RIBBON ADJACENT RED PAVES.

- SWPPP NOTES**
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAY OF THE CITY OF LAS VEGAS AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
  - ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE CITY OF LAS VEGAS, TITLE 19 AND THE LAS VEGAS VALLEY CONSTRUCTION SITE BMP GUIDANCE MANUAL.
  - TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY, REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NV100000, SECTION III.A.5.
  - AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS USED FOR STORAGE OR MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS, AND ALL BMPs WEEKLY, AND WITHIN 24 HOURS AFTER ANY RAIN EVENT OF 0.5 INCHES OR MORE. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS SUSPENSION OF LAND DISTURBANCE ACTIVITIES, REFER TO THE NEVADA STORMWATER GENERAL PERMIT FOR CONSTRUCTION ACTIVITY NV100000, SECTION III.A.12.
  - ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT, WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

**GRADING PLAN**  
**1ST AND BOULDER LOUNGE**  
**SIDEWALK IMPROVEMENTS**  
 CITY OF LAS VEGAS, NEVADA

DESIGNER:  
 DRAWN BY:

JOB NO.  
 11-0020  
 CLV DWG. NO.  
 SHEET NO.  
 C3  
 3 OF 84

**BASIS OF BEARING**  
 SOUTH 62°05'22" EAST BEING THE CENTERLINE OF BOULDER AVENUE BETWEEN FIRST STREET AND CASINO CENTER AS SHOWN BY MAP THEREOF ON FILE AT PAGE 79 IN FILE 67 OF SURVEYS IN THE CLARK COUNTY RECORDER'S OFFICE.

**BENCHMARK**  
 CITY OF LAS VEGAS BENCHMARK NO. 1LV01 345W66 RIVET AND PLATE IN TOP OF CURB @ SOUTHEAST CORNER OF MAIN AND HOOVER.  
 NAVD 1988 DATUM (ADJUSTED 2008)  
 ELEVATION = 618.315 METERS  
 2028.59 FEET

- ENGINEER'S NOTES**
- CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR DUST AND EROSION CONTROL DURING CONSTRUCTION.
  - ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
  - THESE PLANS SHALL NOT, IN PART OR IN WHOLE, BE USED FOR CONSTRUCTION UNTIL APPROVED AND SIGNED BY THE GOVERNING AGENCIES.

- NOTES**
- THERE ARE NO EXISTING STRUCTURES OR FACILITIES ON THE PROPERTY.
  - THERE ARE NO EXISTING IRRIGATION OR DRAINAGE EASEMENTS ON THE PROPERTY.
  - THERE ARE EXISTING STORM DRAINS ADJACENT TO THE SITE ON FREMONT STREET AND CHARLESTON BOULEVARD.
  - ALL LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE.

Call before you Dig.  
 1-800-227-2800

Call before you OVERHEAD  
 1-702-227-2929

PLOT DATE: 11/7/11

2012-145

107V5738 H#: 43786