

**Call before you UnderGround**  
 1-702-455-7511  
 CLARK COUNTY TRAFFIC OPERATIONS AND  
 1-702-229-6611  
 FREEWAY AND ARTERIAL SYSTEM OF TRANSPORTATION

AVOID CUTTING UNDERGROUND UTILITY LINES, IT'S COSTLY!  
**CALL BEFORE YOU DIG**  
 1-800-227-2600  
 UNDERGROUND SERVICE ALERT (USA)

AVOID OVERHEAD POWERLINE CONTACT  
**CALL BEFORE YOU OVERHEAD**  
 1-702-227-2929  
 NEVADA POWER ENVIRONMENT AND SAFETY SERVICES DEPARTMENT

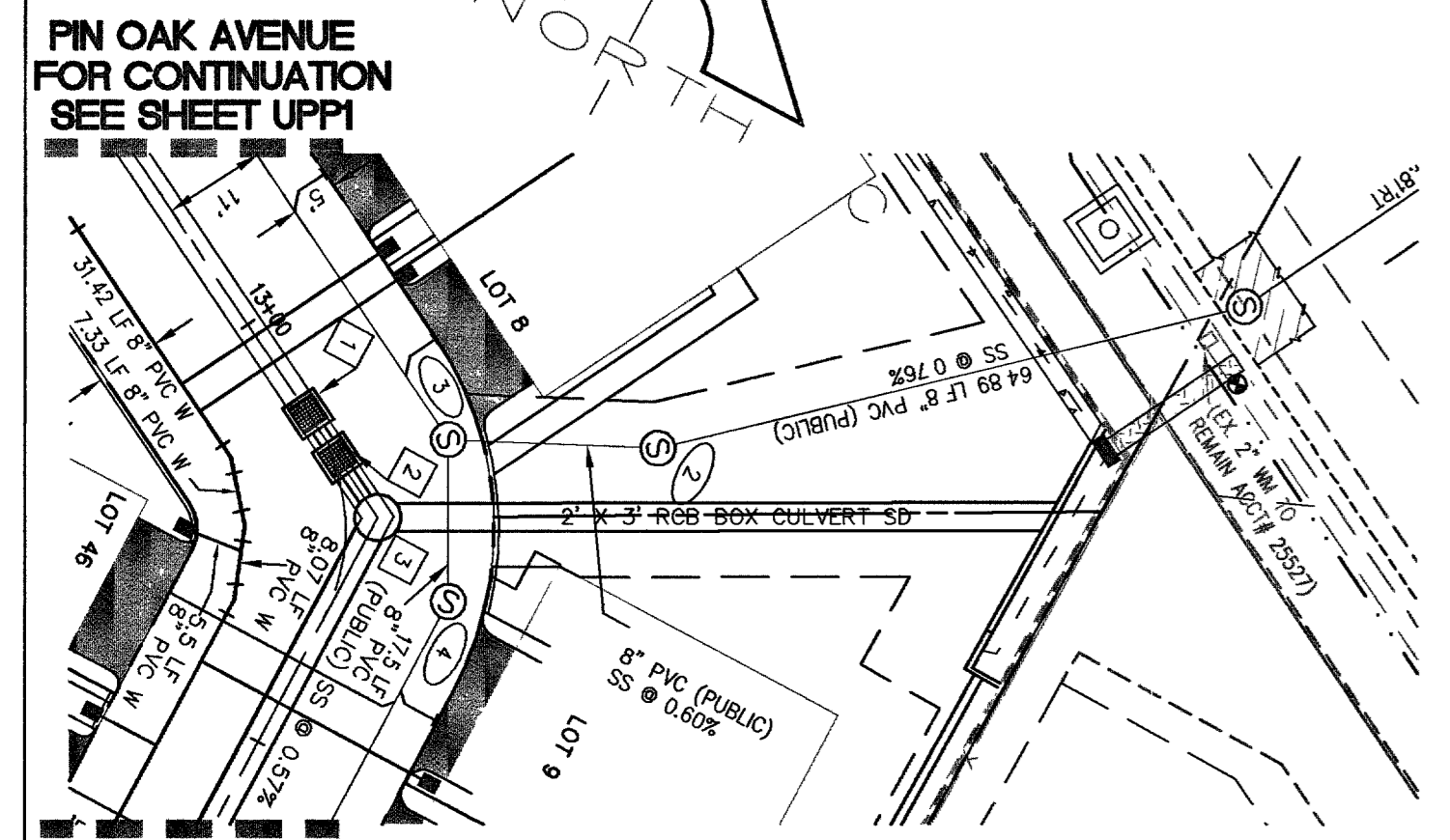
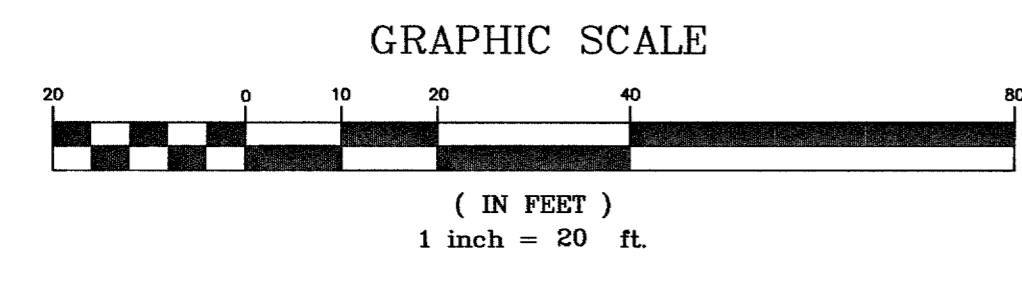
**BASIS OF BEARING**  
 N00°13'16"W  
 BEING THE WEST LINE OF THE SE 1/4 OF SECTION 35, TOWNSHIP 20 SOUTH, RANGE 61 EAST, M.D.M. CLARK COUNTY, NEVADA, AS PER RECORD OF SURVEY FILE 117 PAGE 75, CLARK COUNTY, NEVADA RECORDS.

**BENCHMARK**  
 BM NO. 7C013556  
 ELEVATION = 1905.28' NAVD'88  
 RIVET AND PLATE IN T/C, NW COR. OF FREMONT ST. AND BRUCE ST. NEAR THE P.C. OF FREMONT ST.

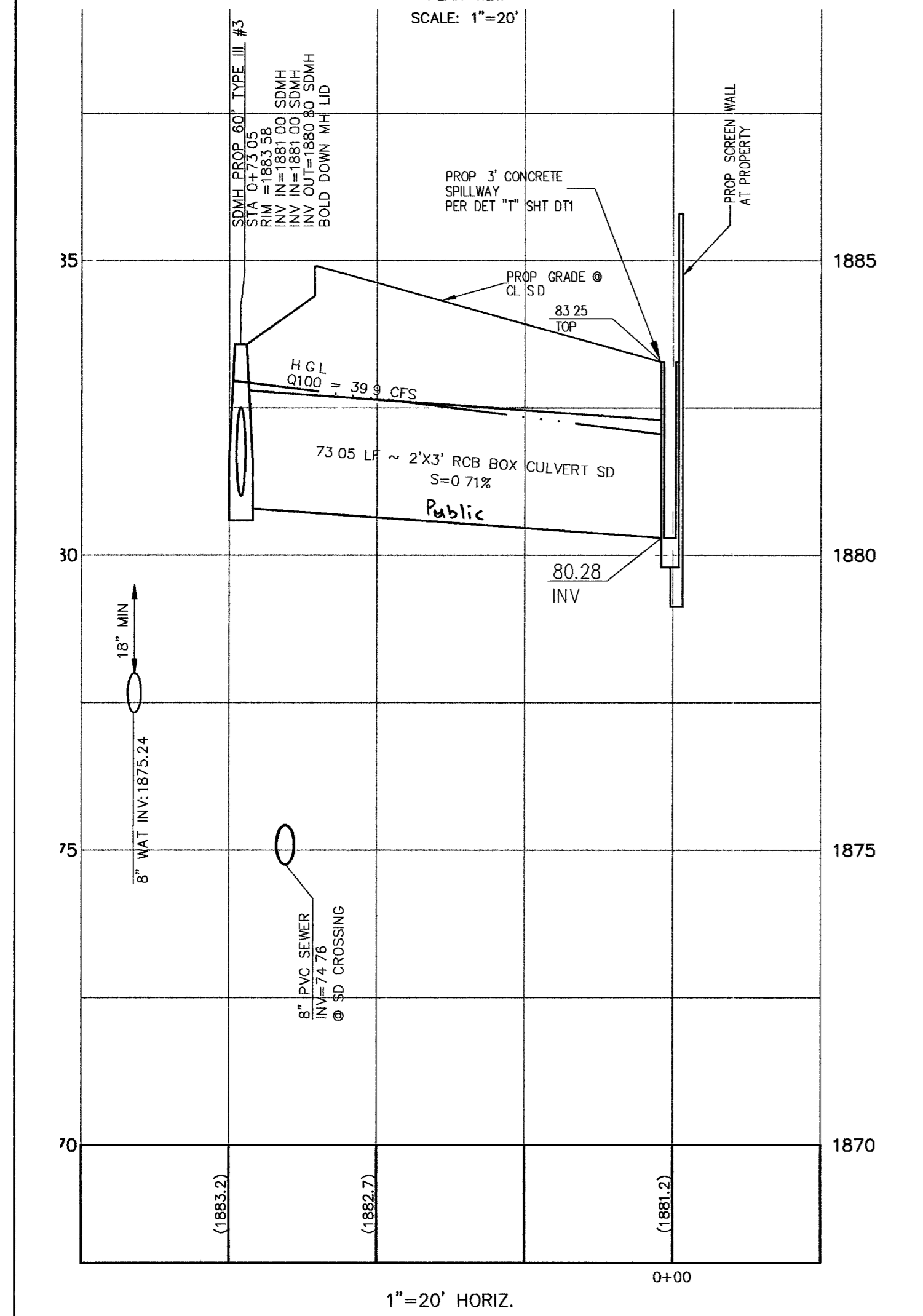
**FEMA INFORMATION**  
 SITE IS LOCATED IN ZONE 'X', AREA DETERMINED TO BE OUT SIDE OF 500 YEAR FLOOD ZONE PER FIRM MAP NO 32003 C 2170 E EFFECTIVE SEPT. 27, 2002.

**NOTE:**  
 ALL PRIVATE DRIVES ARE P.U.E., PUBLIC SEWER EASEMENTS, AND PUBLIC DRAINAGE EASEMENTS TO BE PRIVATELY MAINTAINED BY HOA

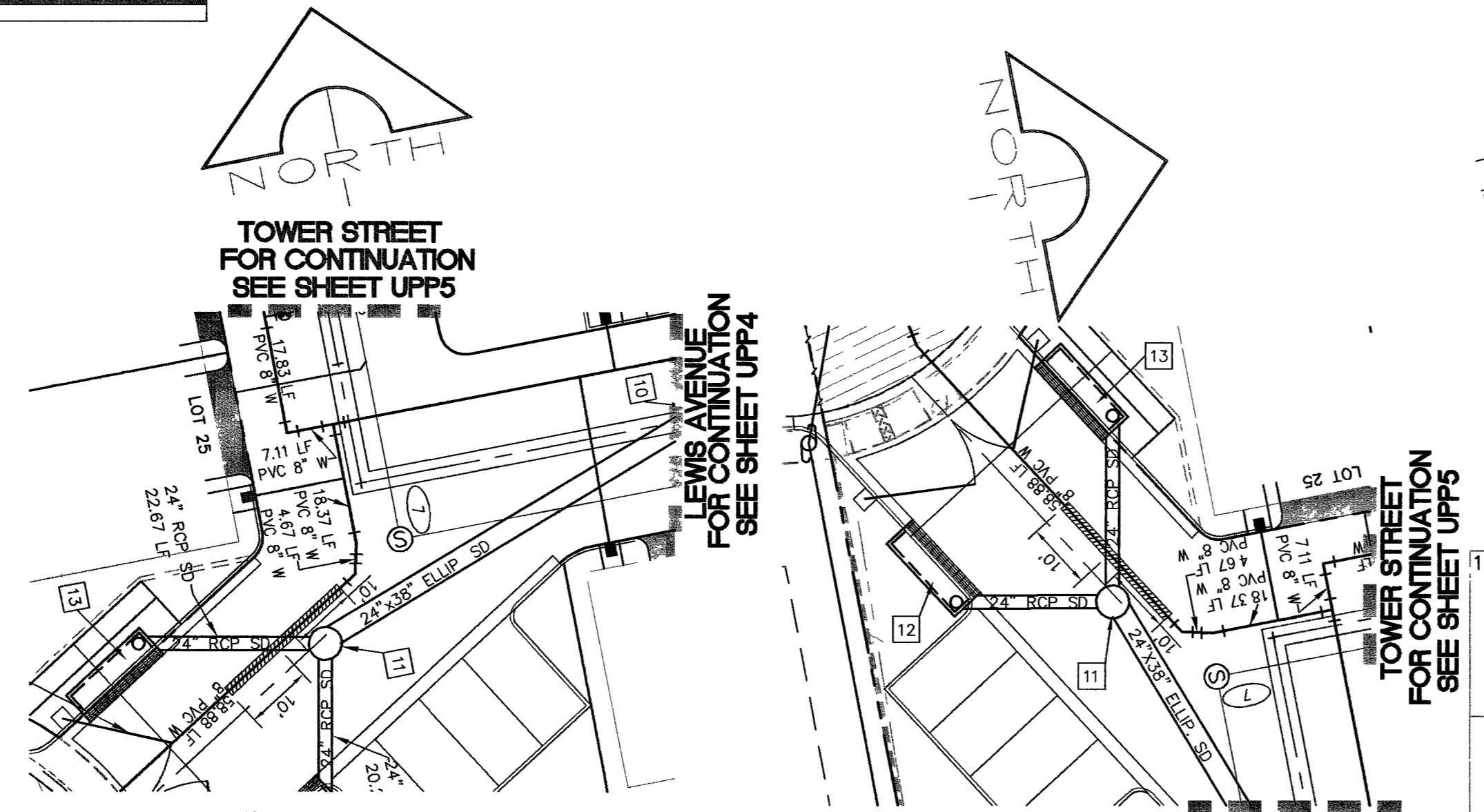
**GENERAL NOTES**  
 1. JPL ENGINEERING, INC ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITIES SHOWN OR NOT SHOWN. THE UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM RECORD INFORMATION AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL RELEVANT UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. IF A CONFLICT OR DISCREPANCY IS DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING IMMEDIATELY.  
 2. ALL WATER FACILITIES CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR WATER DISTRIBUTION SYSTEMS (UDACS), LATEST EDITION.  
 3. WATER AND SEWER SERVICE LATERALS SHALL BE INSTALLED A MINIMUM OF FOURTY-EIGHT (48) INCHES APART IN SEPARATE TRENCHES. WATER LATERALS SHALL BE A MINIMUM OF TWELVE (12) INCHES ABOVE THE SEWER LATERAL (REF. UNIFORM PLUMBING CODE)



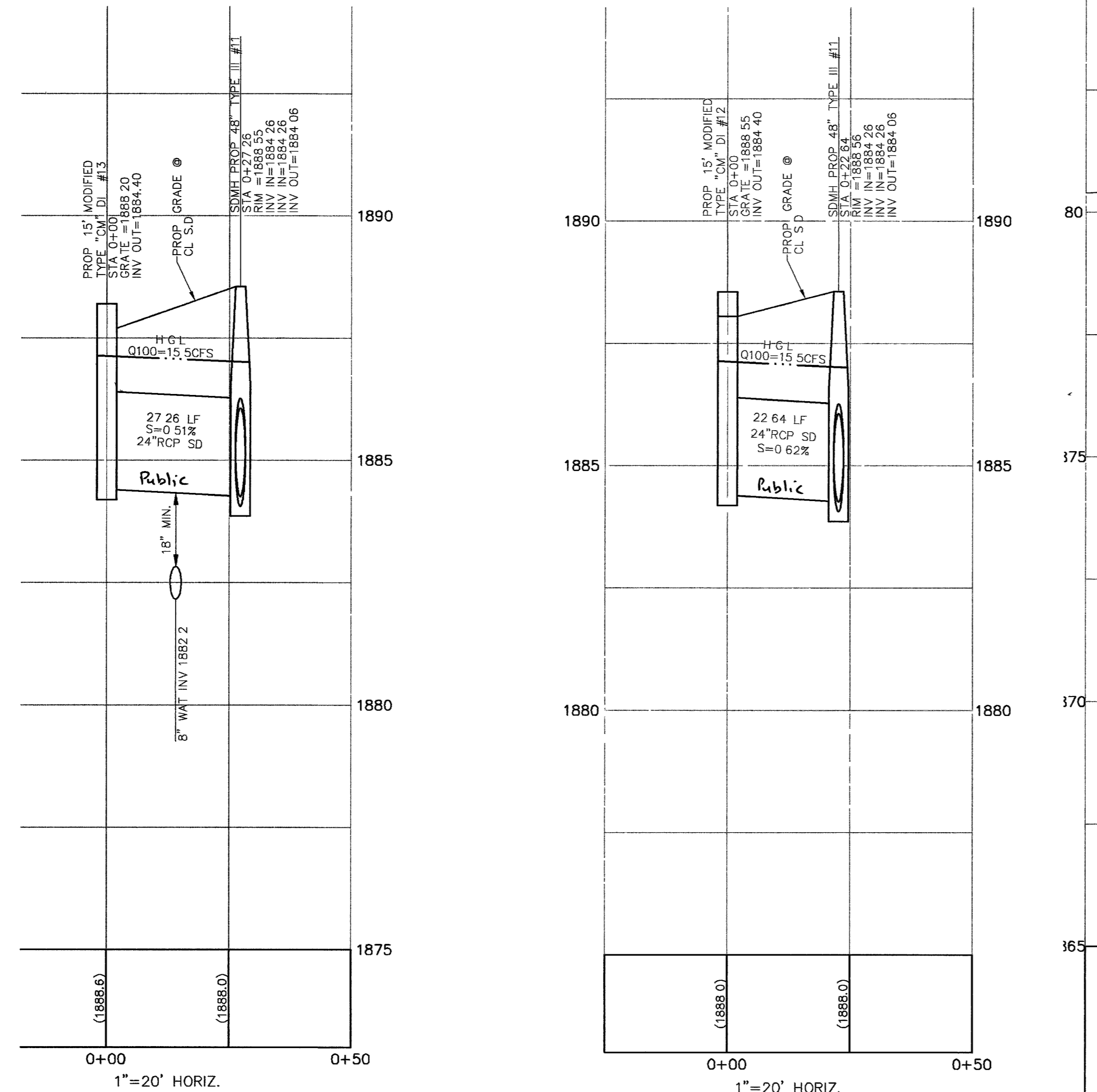
**DOUGRAM STREET FOR CONTINUATION SEE SHEET UPP2**  
**2'x3' RCB BOX CULVERT SD**  
 PLAN VIEW SCALE: 1"=20'



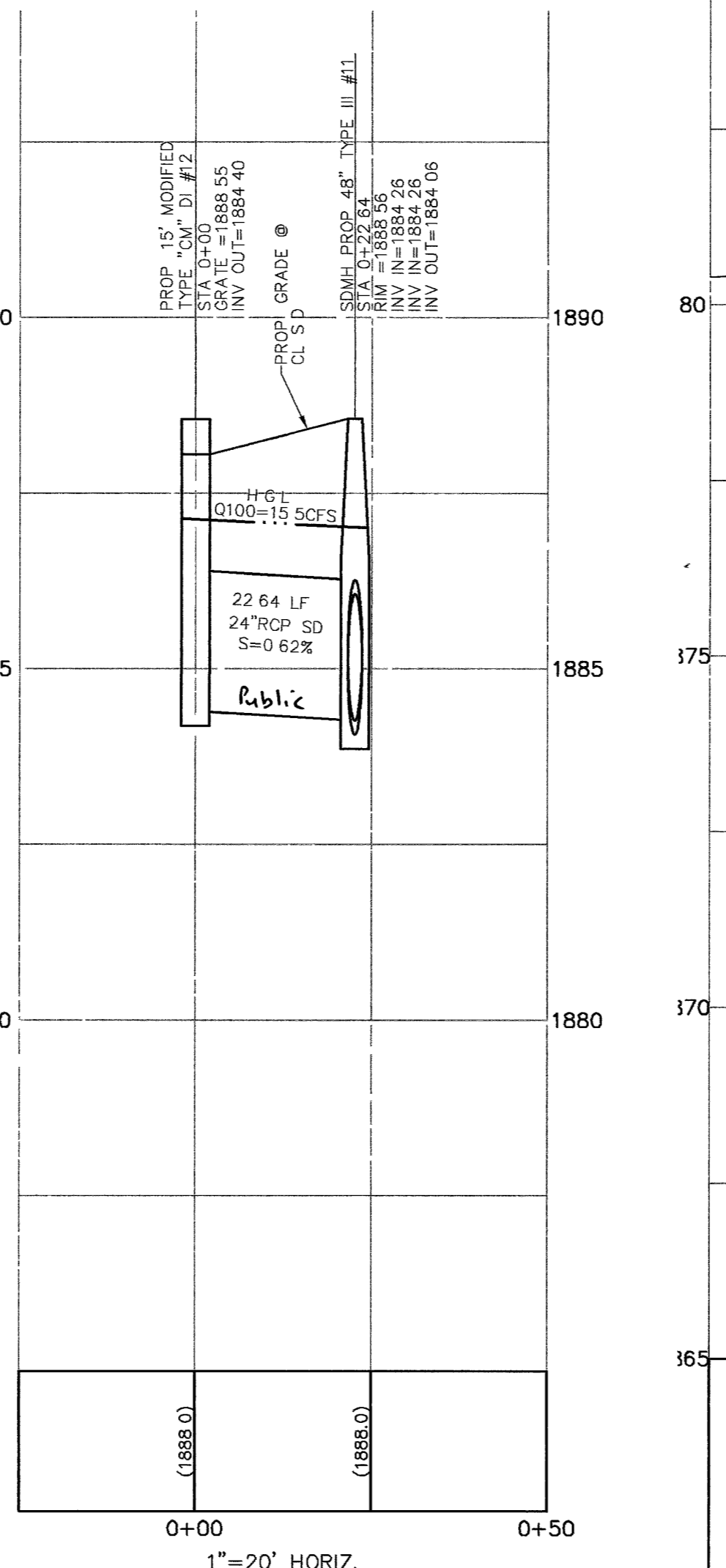
1"=20' HORIZ.  
 1"=2' VERT.



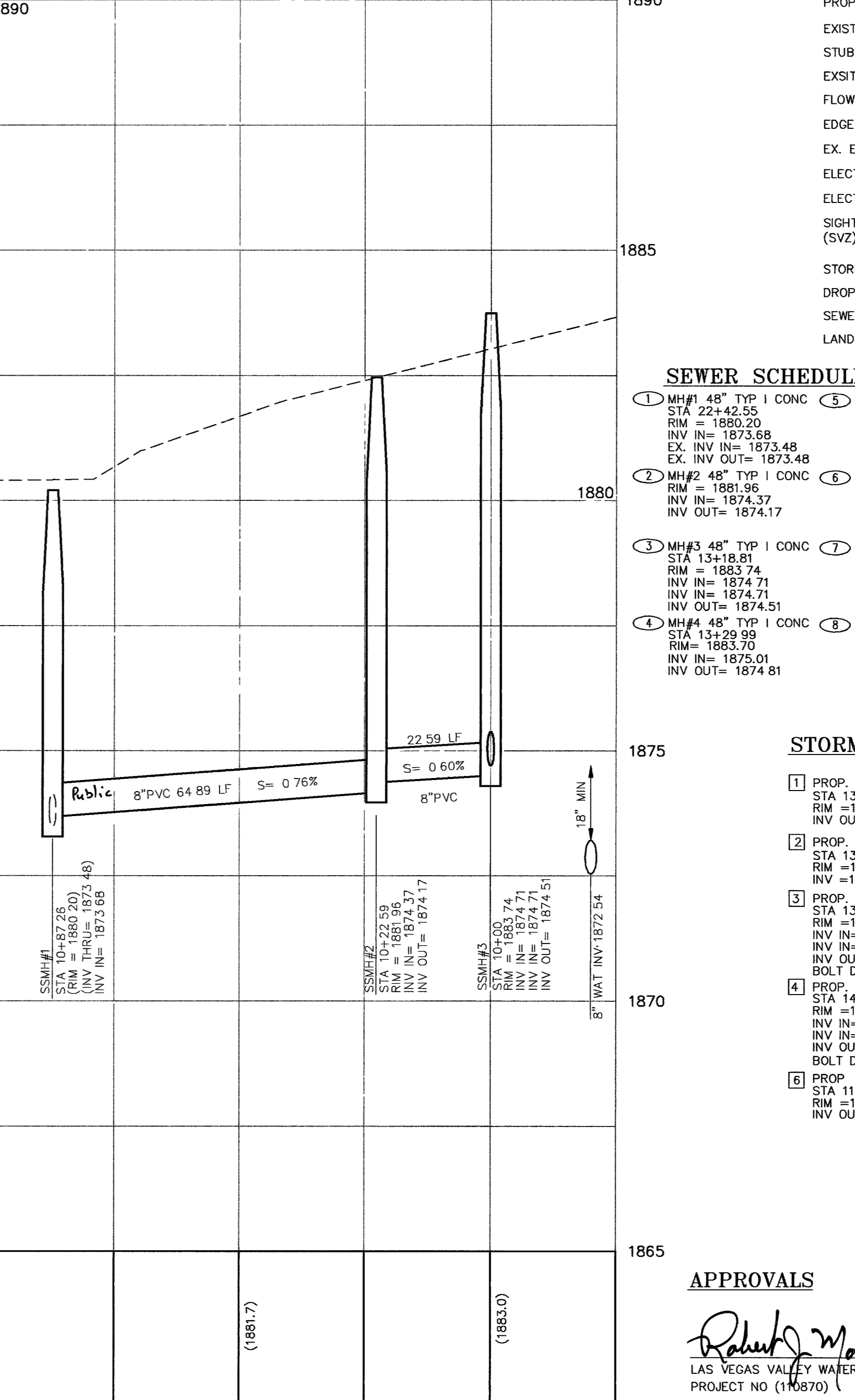
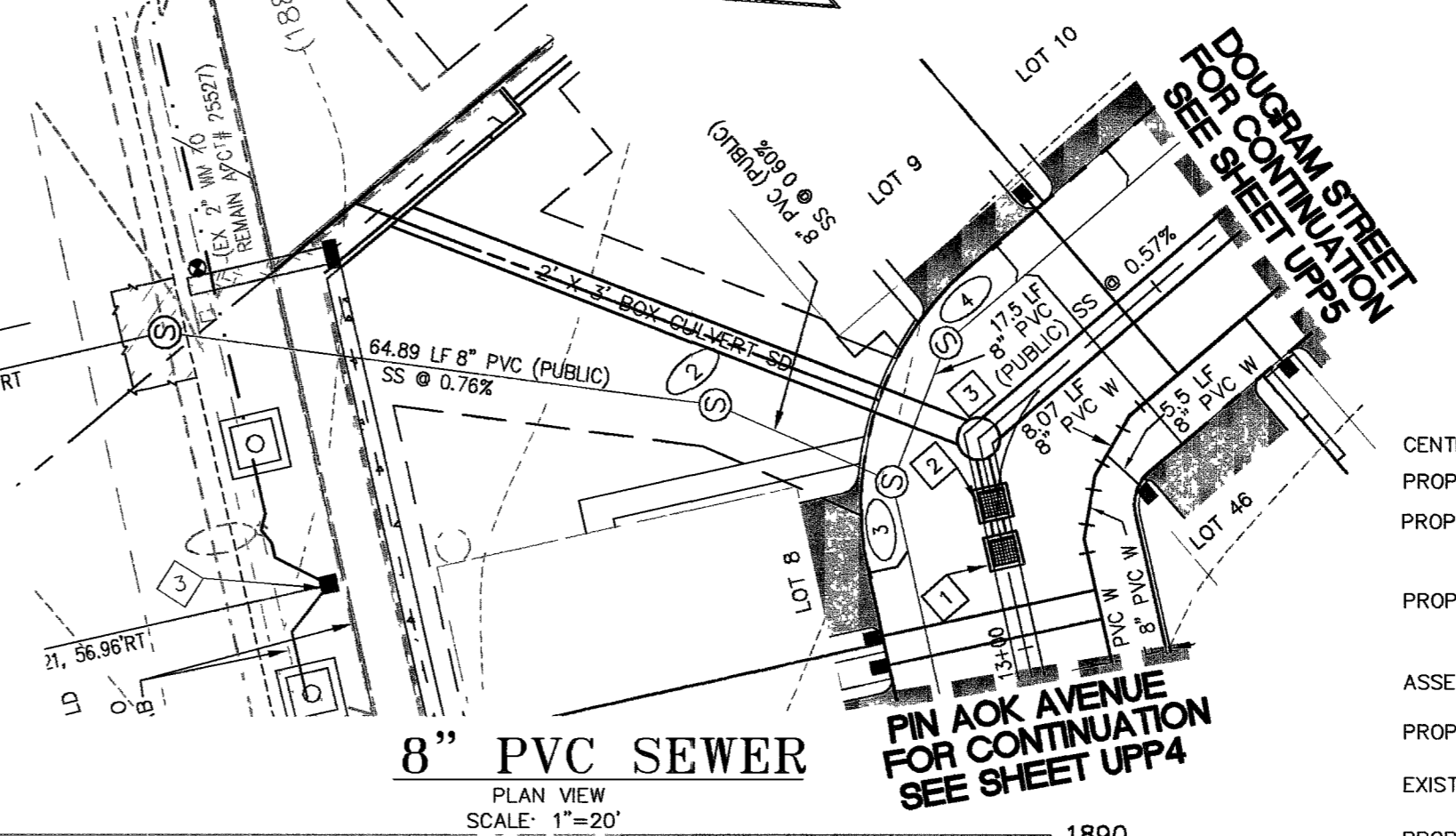
**24" RCP SD**  
 FROM DI# 13 TO MH# 11  
 PLAN VIEW SCALE: 1"=20'



1"=20' HORIZ.  
 1"=2' VERT.



1"=20' HORIZ.  
 1"=2' VERT.



1"=20' HORIZ.  
 1"=2' VERT.

**LEGEND**

- CENTERLINE
- PROPERTY LINE/LOT LINE
- PROPOSED DRAINAGE EASEMENT
- PROPOSED AC AREA
- ASSESSOR'S PARCEL NUMBER
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED WATER VALVE
- EXISTING WATER VALVE
- STUB & CAP
- EXISTING CONTOUR
- FLOW LINE
- EDGE OF PAVEMENT
- EX. EDGE OF PAVEMENT
- ELECTRICAL TRANSFORMER
- ELECTRICAL PANEL
- SIGHT VISABILITY ZONE (SVZ)
- STORM DRAIN MANHOLE
- DROP INLET
- SEWER MANHOLE
- LANDSCAPING FEATURE

**SEWER SCHEDULE**

1 MH#1 48" TYP I CONC STA 22+42.55 RIM = 1880.20 INV IN= 1873.88 EX. INV IN= 1873.48	5 MH#5 48" TYP I CONC STA 15+90.22 RIM = 1885.75 INV IN= 1876.79	9 MH#9 48" TYP I CONC STA 10+04.22 RIM = 1885.90 INV IN= 1877.74
2 MH#2 48" TYP I CONC STA 12+61.97 RIM = 1881.96 INV IN= 1874.37	6 MH#6 48" TYP I CONC STA 12+61.97 RIM = 1885.75 INV IN= 1874.17	10 MH#10 48" TYP I CONC STA 10+41.55 RIM = 1885.62 INV IN= 1876.68
3 MH#3 48" TYP I CONC STA 13+18.81 RIM = 1883.74 INV IN= 1874.71	7 MH#7 48" TYP I CONC STA 10+04.22 RIM = 1887.50 INV IN= 1878.81	11 MH#11 48" TYP I CONC STA 9+89 RIM = 1885.22 INV IN= 1876.07
4 MH#4 48" TYP I CONC STA 13+29.99 RIM = 1883.70 INV IN= 1875.01	8 MH#8 48" TYP I CONC STA 11+36.66 RIM = 1886.90 INV IN= 1878.61	12 MH#12 48" TYP I CONC STA 10+04.45 RIM = 1886.26 INV IN= 1876.72

**STORMDRAIN SCHEDULE**

1 PROP. 3'x3' DI STA 13+12.16 RIM = 1883.59 INV OUT=1881.64	7 PROP. 60" TYPE I SDMH STA 12+24.17 RIM = 1885.65 INV IN=1882.62
2 PROP. 3'x3' DI STA 13+23.99 RIM = 1883.57 INV = 1881.61	8 PROP. 60" TYPE I SDMH STA 10+51.07 RIM = 1887.05 INV IN=1884.26
3 PROP. 60" TYPE III SDMH STA 13+23.99 RIM = 1883.58 INV IN=1881.00	9 PROP. 60" TYPE III SDMH STA 14+39.22 RIM = 1884.55 INV IN=1881.68
4 PROP. 60" TYPE III SDMH STA 14+39.22 RIM = 1884.55 INV IN=1881.68	10 PROP. 60" TYPE III SDMH STA 14+39.22 RIM = 1884.55 INV IN=1881.68
5 PROP. 3'x3' DI STA 11+51.36 RIM = 1885.25 INV OUT=1881.95	11 PROP. 15" MODIFIED TYPE "CM" DI #12 STA 0+00 GRATE = 1888.55 INV OUT=1884.40
6 PROP. 3'x3' DI STA 11+51.36 RIM = 1885.25 INV OUT=1881.95	12 PROP. 15" MODIFIED TYPE "CM" DI #13 STA 0+00 GRATE = 1888.20 INV OUT=1884.40

**APPROVALS**  
 [Signature] 3/28/07  
 LAS VEGAS VALLEY WATER DISTRICT  
 PROJECT NO (110870)

**JPL ENGINEERING INC.**  
 8620 South Eastern Avenue Suite 8  
 Las Vegas, NV 89123  
 phone (702) 898-6269 \* fax (702) 898-0647

**URBAN LOFTS X, LTD**  
**FREMONT STREET LOFT HOMES**  
**UTILITY PLAN AND PROFILE**  
**MISCELLANEOUS PROFILE**  
 AUGUST 2006

DATE: \_\_\_\_\_  
 REV: \_\_\_\_\_  
 DESCRIPTION: \_\_\_\_\_

11/106  
**UPP6**  
 23 OF 24  
 1074945