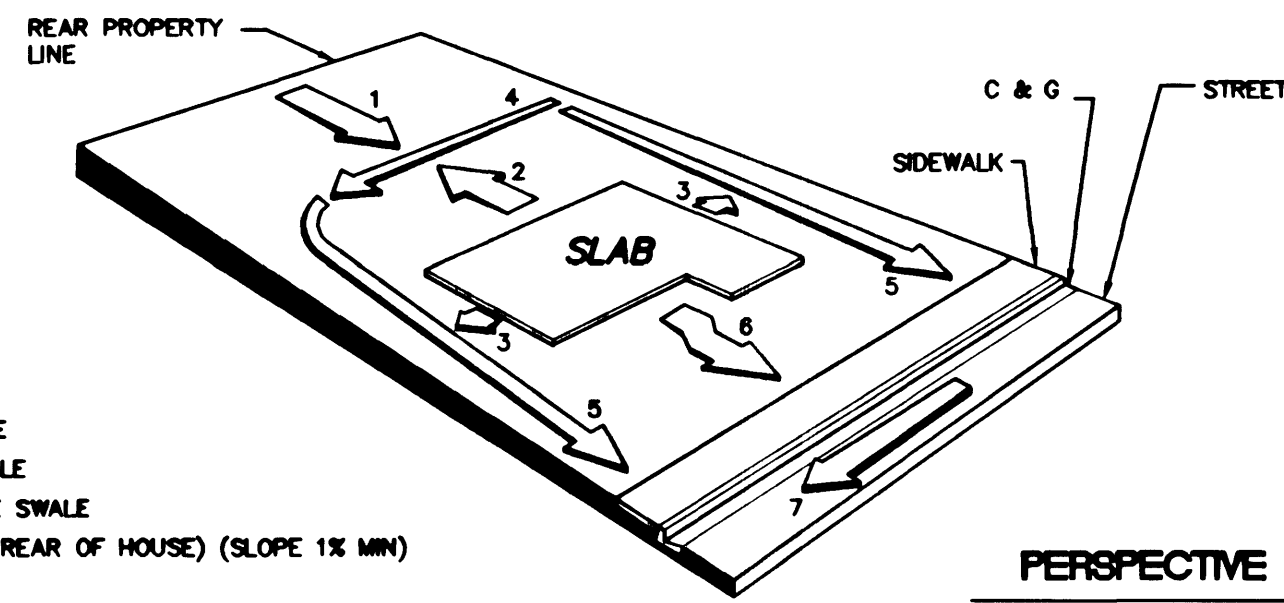
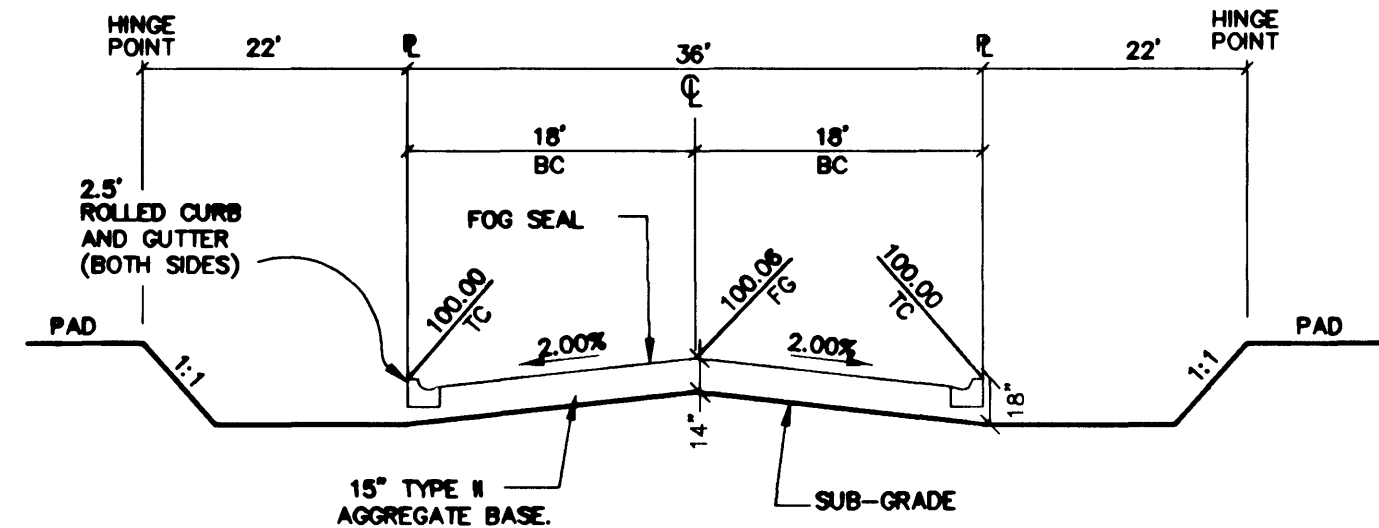




1. SLOPE FROM REAR TO SWALE
2. SLOPE FROM HOUSE TO SWALE
3. SLOPE FROM HOUSE TO SIDE SWALE
4. REAR SWALE (5' MIN. FROM REAR OF HOUSE) (SLOPE 1% MIN)
5. SIDE SWALE (SLOPE 1% MIN)
6. SLOPE FROM HOUSE TO SIDEWALK
7. SLOPE OF STREET

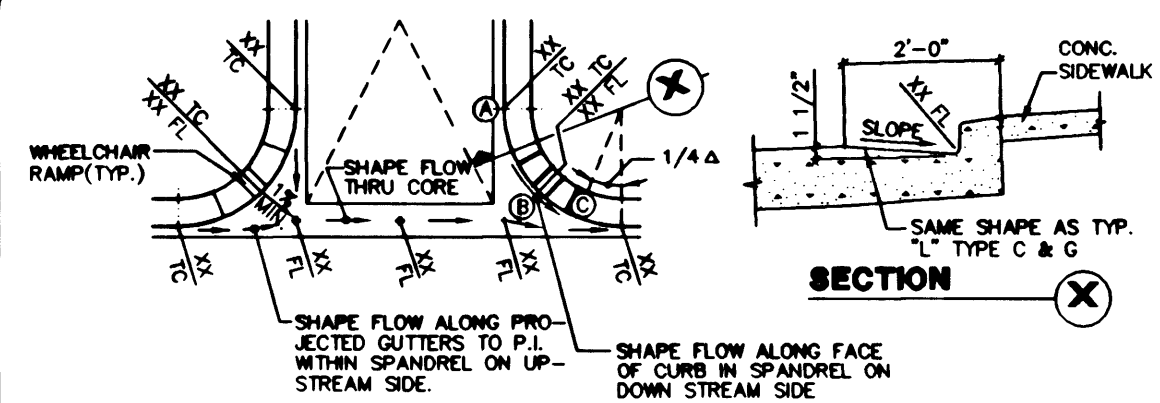
FHA TYPE 'A' DRAINAGE

TYPICAL GRADING



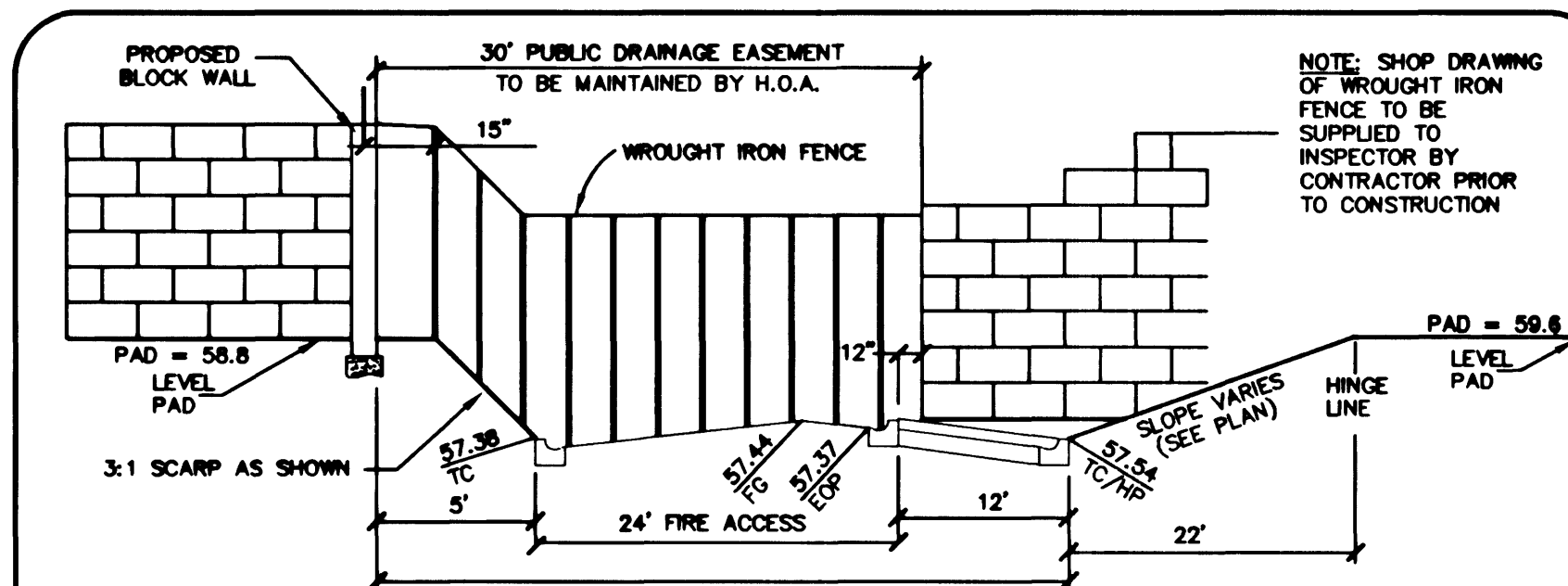
TYPICAL INTERIOR STREET GRADING SECTION

A
12



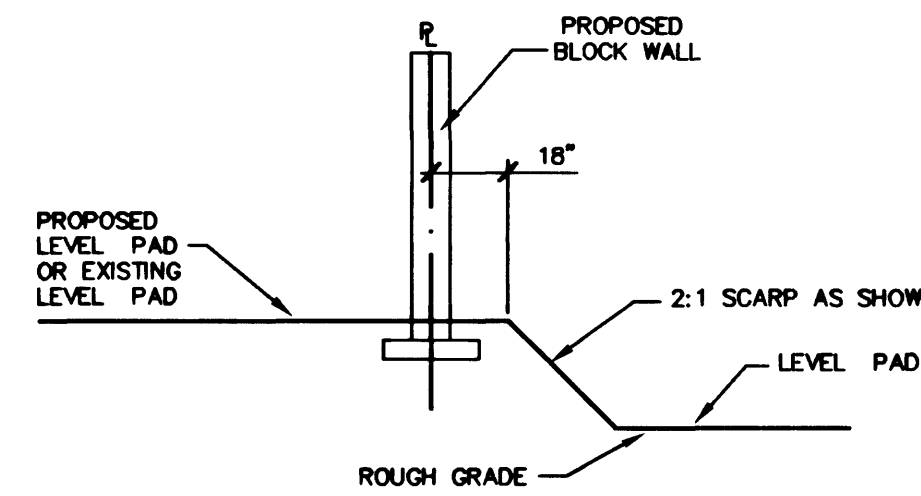
TYP. VALLEY GUTTER

SCALE: N.T.S.



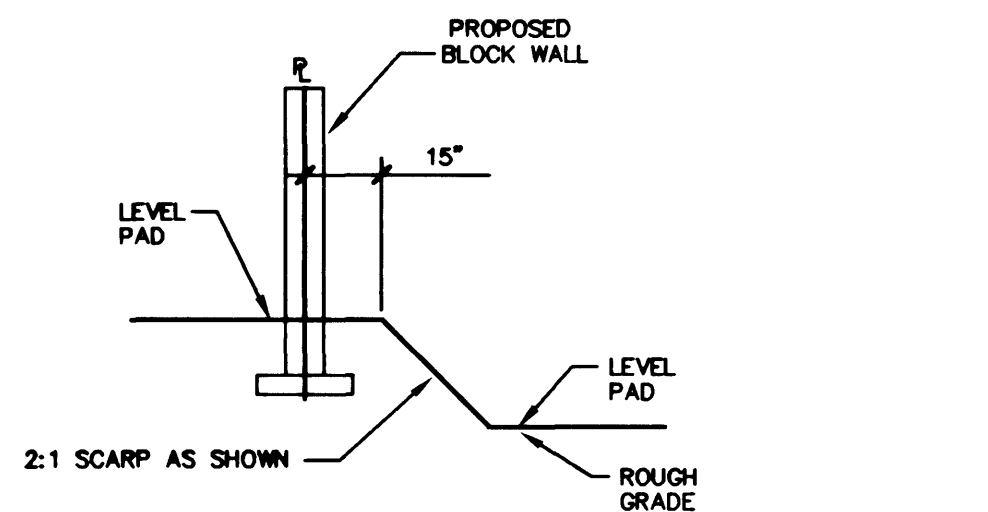
NORTH END OF WINCHESTER BLUFF SECTION

M
12



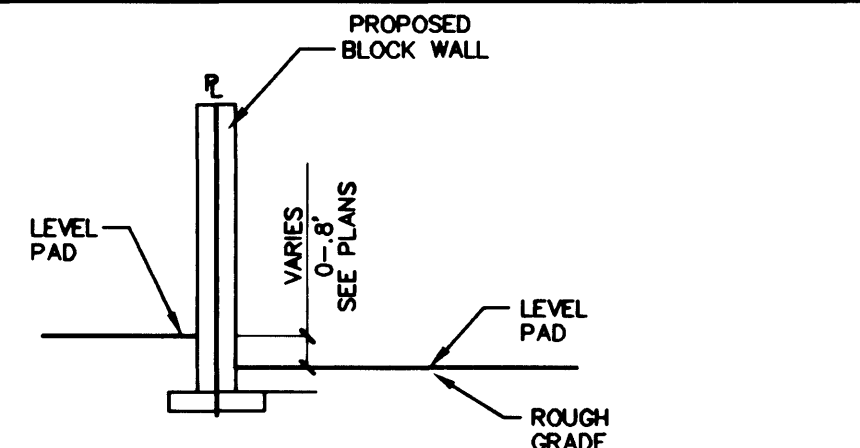
REAR YARD SECTION

F
12



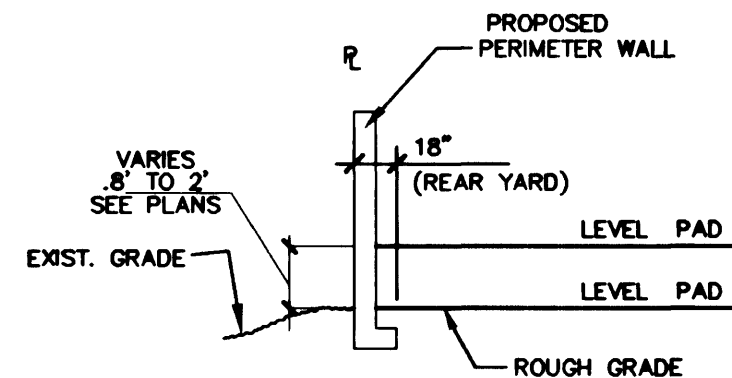
SIDE YARD W/ SCARP SECTION

G
12



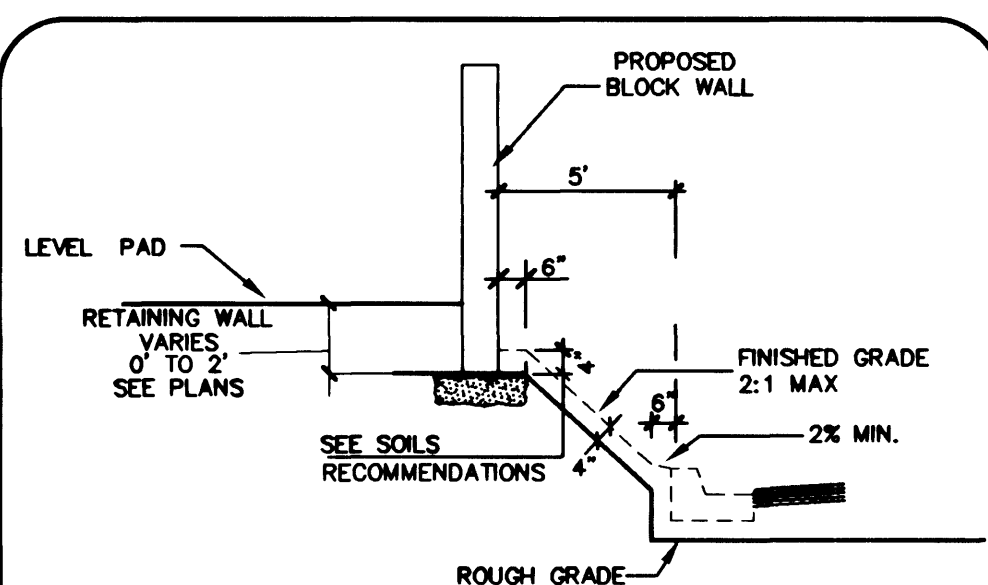
SIDE YARD SECTION

H
12



PERIMETER EAST

I
12



CORNER LOT SECTION

J
12

GRADING NOTES.

1. THE ROUGH GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIMES. THE ROUGH GRADING SHALL BE FINISHED IN CONFORMANCE WITH THE LINES AND GRADES SHOWN ON THE PLANS. THE GRADING QUANTITIES ARE BASED ON THE ELEVATION AND DETAILS SHOWN ON THE PLANS. ANY DEVIATIONS FROM THE PLANS WILL RESULT IN QUANTITY CHANGES.
2. CARE SHALL BE EXERCISED IN GRADING CORNER LOTS.
3. ROUGH PAD ELEVATIONS SHALL BE GRADED TO WITHIN 0.3' OF THE PAD ELEVATIONS SHOWN ON THE PLANS. WHEN GRADING IS COMPLETE PER THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE LOTS CAN BE INSPECTED. AT THAT TIME THE ENGINEER SHALL ALSO DECIDE IF ANY ADDITIONAL DITCHES OR BERMS ARE REQUIRED. THE CONTRACTOR IS REQUESTED NOT TO REMOVE ANY OF HIS ROUGH GRADING EQUIPMENT UNTIL HE RECEIVES GRADING APPROVAL FROM THE ENGINEER.

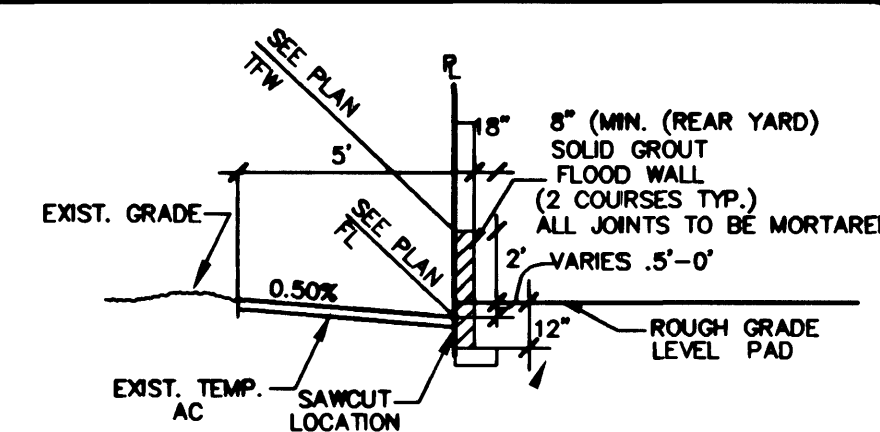
SOILS REPORT PREPARED BY GEOTEK, INC., PROJECT NO. 3469-LV6, DATED JULY 6, 2001.

4. THE VOLUME CHANGE OF EXCAVATED MATERIALS UPON COMPACTION AS ENGINEERED FILL IS ANTICIPATED TO VARY WITH MATERIAL TYPE AND LOCATION. THE OVERALL EARTHWORK SHRINKAGE AND BULKING MAY BE APPROXIMATED BY USING THE FOLLOWING PARAMETERS:

ARTIFICIAL FILL	25% TO 30% SHRINKAGE
SURFACE ALLUVIUM (UPPER 36 INCHES)	20% TO 25% SHRINKAGE
ALLUVIUM	10% TO 20% SHRINKAGE
CEMENTED ALLUVIUM	5% TO 10% SHRINKAGE

"DUE TO THE STATIC AND DYNAMIC EFFECT OF EARTHWORK EQUIPMENT DURING CONSTRUCTION, 0.10 TO 0.15 FEET OF GROUND SUBSIDENCE SHOULD BE ANTICIPATED TO OCCUR DURING SITE PREPARATION AND EARTHWORK CONSTRUCTION. IT SHOULD BE NOTED THAT THE ABOVE FACTORS ARE ESTIMATES ONLY, BASED ON PRELIMINARY DATA. FINAL EARTHWORK BALANCE FACTORS COULD VARY. IN THIS REGARD, IT IS RECOMMENDED THAT BALANCE AREAS BE RESERVED WHERE GRADES COULD BE ADJUSTED UP OR DOWN NEAR THE COMPLETION OF GRADING IN ORDER TO ACCOMMODATE ANY YARDAGE IMBALANCE FOR THE PROJECT."

THE ABOVE QUOTATION IS FROM PAGE 8 OF THE SOILS REPORT UNDER EARTHWORK BALANCE.



PERIMETER NORTH

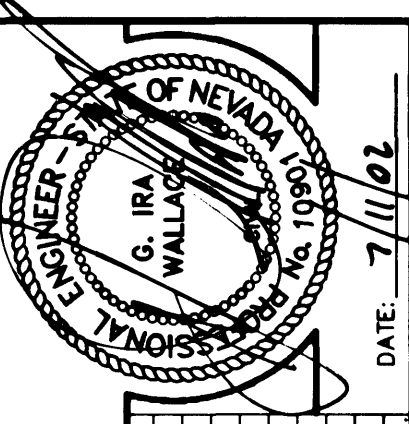
K
12

GRADING AND DRAINAGE PLANS GENERAL NOTES

1. ALL WORK AND MATERIAL NOT IN ACCORDANCE WITH THE LATEST "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA", IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
2. A GRADING PERMIT IS REQUIRED UNDER ORDINANCE NUMBER 883.
3. EXCAVATING CONTRACTOR SHALL GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM THE OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION.
4. CITY ENGINEER'S OFFICE SHALL BE NOTIFIED BEFORE ANY ON-SITE CONSTRUCTION BEGINS.
5. STAKING PAD AND/OR FINISH FLOOR ELEVATIONS ARE THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER. THE DEVELOPER'S ENGINEER SHALL SUBMIT COMPACTION REPORTS OF ALL FILLS AND FOUNDATIONS AND SLAB SUBGRADES PRIOR TO POURING OF CONCRETE.
6. A SEPARATE PERMIT IS REQUIRED FOR ANY OFF-SITE CONSTRUCTION.
7. A GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
8. AS-BUILT FINISH FLOOR ELEVATIONS SHALL BE CERTIFIED BY: ENGINEER OR SURVEYOR: G.C. WALLACE, INC. ADDRESS: 1555 S. RAINBOW BLVD. TELEPHONE: (702) 804-1200

LEGEND

18	LOT NUMBER
60.8	PAD ELEVATION
60.8	EXISTING PAD ELEVATION
60.8	FUTURE PAD ELEVATION
FF=61.8	FINISHED FLOOR ELEVATION
57.10 XX	DESIGN ELEVATION
(+57.10) XX	EXISTING AS-BUILT ELEVATION
(57.10) XX	PROPOSED ELEVATION PER EXISTING PLANS
[57.10] XX	FUTURE ELEVATION
57.1 XX	ROUGH GRADE ELEVATION
57.10 XX	GRADE BREAK
2:1 SCARP	2:1 SCARP
DITCH OR SWALE	DITCH OR SWALE
EXISTING CONTOUR	EXISTING CONTOUR
C/F	CUT/FILL
3:1	SCARP SLOPE AS SHOWN ON PLAN
RETAINING WALL	RETAINING WALL
EXISTING WALL	EXISTING WALL
PROPOSED WALL (SCHEMATIC LOCATION FOR PERIMETER CONDITIONS & CASES IN WHICH WALL DOES NOT SIT AT BACK OF SIDEWALK OR ON PROPERTY LINES-END OF WALLS TO BE DETERMINED IN FIELD.)	



GRAND TETON / JONES NORTHEAST 40 ACRES
• FOR MOUNTAIN RANCH UNIT NO. 2

WILLIAM LYON HOMES
GRADING DETAILS I

SHEET
C-12

107Y-4712-2 12 OF 14 SHTS