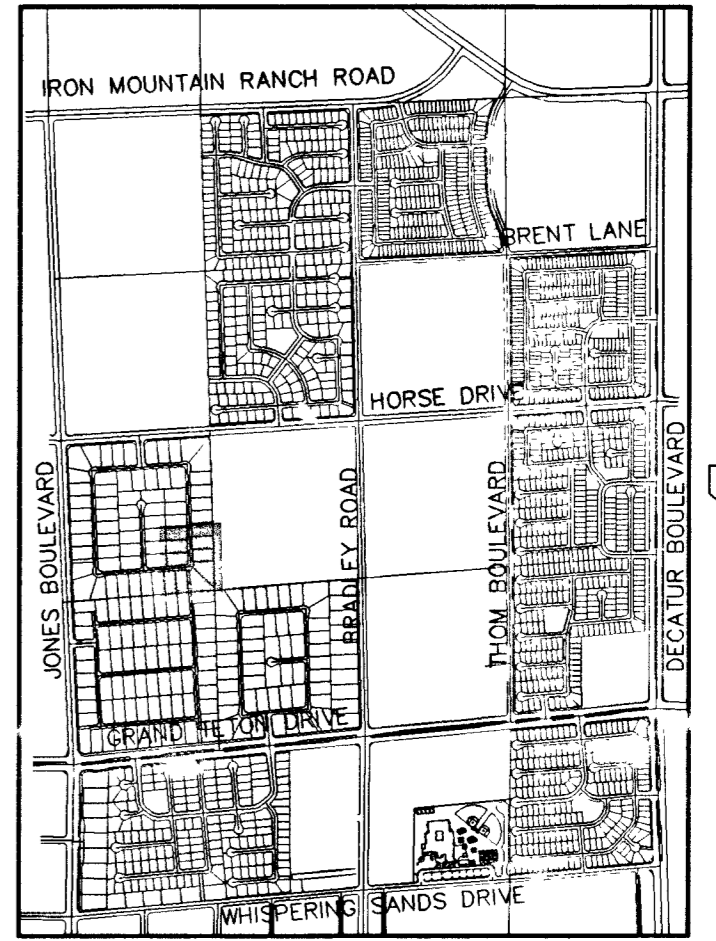
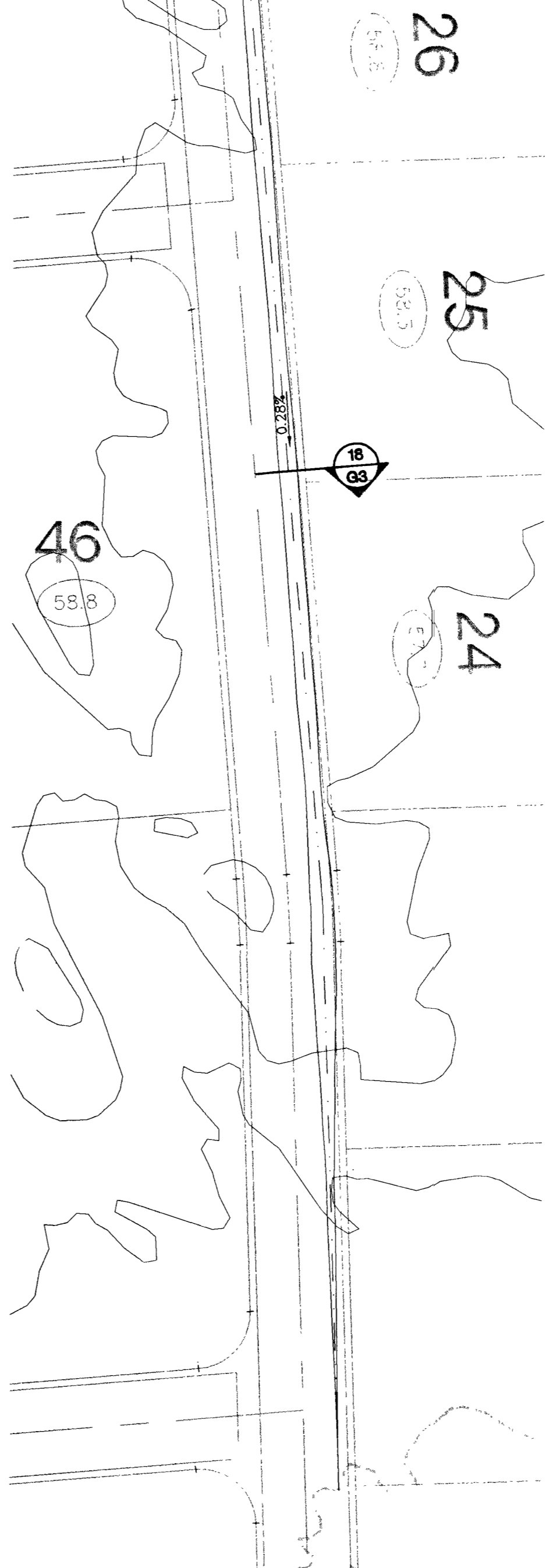
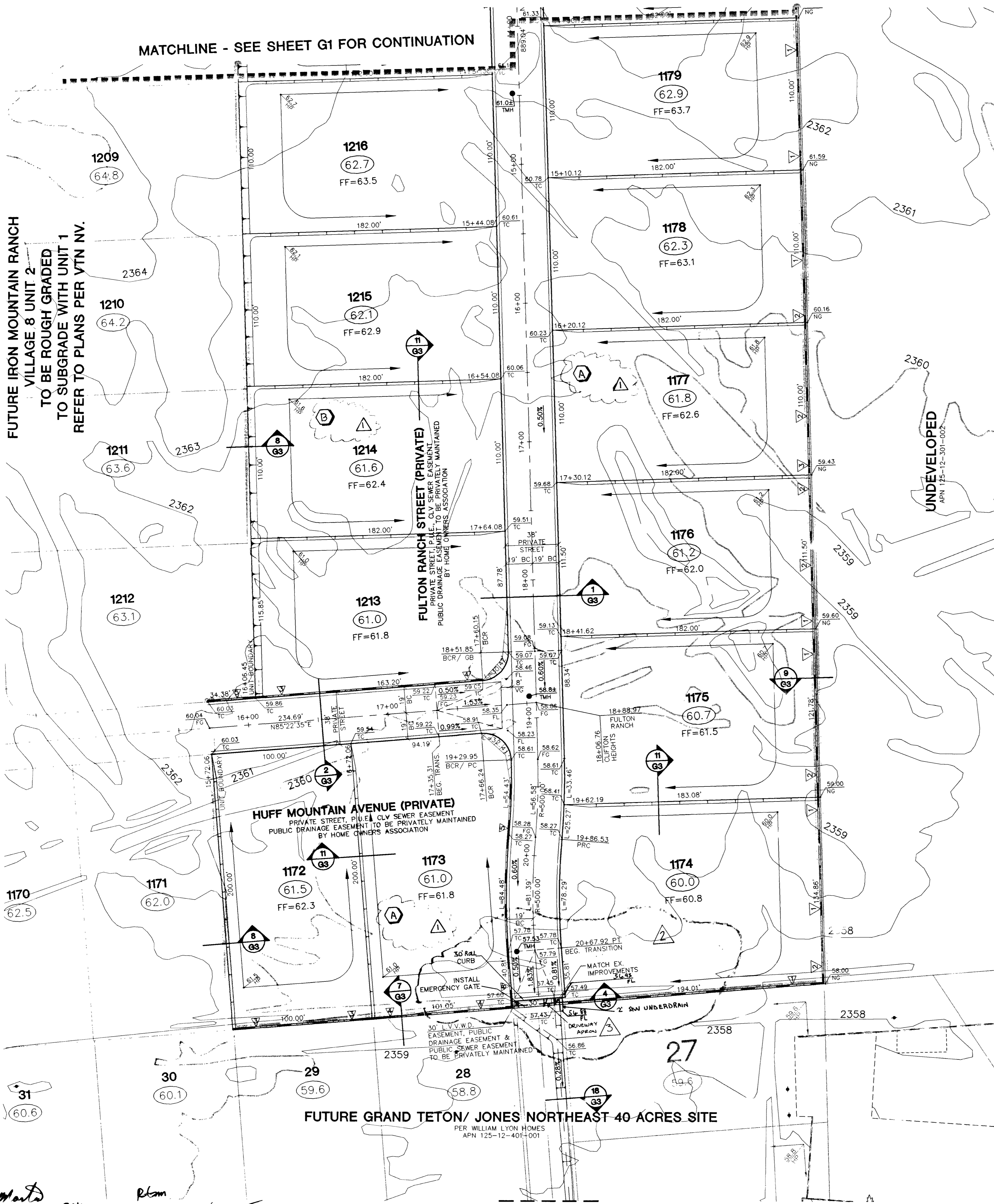


MATCHLINE-SEE LOWER LEFT

MATCHLINE - SEE SHEET G1 FOR CONTINUATION

FUTURE IRON MOUNTAIN RANCH VILLAGE 8 UNIT 2 TO BE ROUGH GRADED TO SUBGRADE WITH UNIT 1 REFER TO PLANS PER VTN NV.



KEY MAP GRAPHIC SCALE

LEGEND table with symbols for various features like flow lines, curbs, pavements, and retaining walls. Includes a graphic scale of 1" = 40'.

CITY OF LAS VEGAS GRADING NOTES

- 1. IN THE EVENT THAT ANY UNFORSEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS...
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS...
3. THE CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ALL EXCAVATION...
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT...
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED...
6. CONTRACTOR SHALL BE RESPONSIBLE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:
HORIZONTAL VERTICAL COMPACTION
A. PAVEMENT AREA SUBGRADE 0.1+ +0.0' to -0.1' See Soils Report
B. ENGINEERING FILL 0.5+ +0.1' to -0.1' See Soils Report
COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM ALL CITY PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

NOTE: ALL OF THE RETAINING WALL HEIGHTS ARE DETERMINED WITH THE TOP OF THE FOOTING BEING APPROXIMATELY 4" BELOW EXISTING GRADE. WITH THE EXCEPTION OF RETAINING WALLS WHICH ARE NEXT TO A SIDEWALK, ALL OF THESE ARE FIGURED TO HAVE THE TOP OF FOOTING BEING 8" BELOW THE TOP OF THE SIDEWALK.

RETAINING WALL CONVERSION TABLE with columns for STANDARD RETAINER and RETAINER NEXT TO SIDEWALK, and rows for different wall heights.

Call before you Overhead 1-702-593-6111

Call before you Dig 1-800-227-2600

BENCHMARK PROJECT DATUM: NAVD88 CITY OF LAS VEGAS BENCHMARK 11V90-13NE NAVD88 ELEVATION: 710.9608 METERS (2332.54 FEET) ONLY BM 413148, DECATUR BLVD & GRAND TETON DRIVE 100' SW OF SECTION CORNER, NEXT TO METAL POWER POLE

BASIS OF BEARINGS THE BASIS OF BEARINGS FOR THIS PROJECT IS GRID NORTH AS DEFINED BY THE NEVADA COORDINATE SYSTEM OF 1983 (NCS83), EAST ZONE, (2701), DETERMINED BY CLARK COUNTY GIS CONTROL POINTS 801, 803, 804, AND 805, AS SHOWN ON A RECORD OF SURVEY ON FILE IN THE CLARK COUNTY, NEVADA, RECORDER'S OFFICE, IN BOOK 88 OF SURVEYS, AT PAGE 53.

Project information block including: CITY OF LAS VEGAS, IRON MOUNTAIN RANCH VILLAGE 8 UNIT 1, GRADING PLAN, DRAWN BY, DESIGNED BY, CHECKED BY, PROJECT NO., SHEET 8 OF 20 SHEETS, DRAWING NO. 107Y-4604-B-1, and logos for KB HOME and MVA.