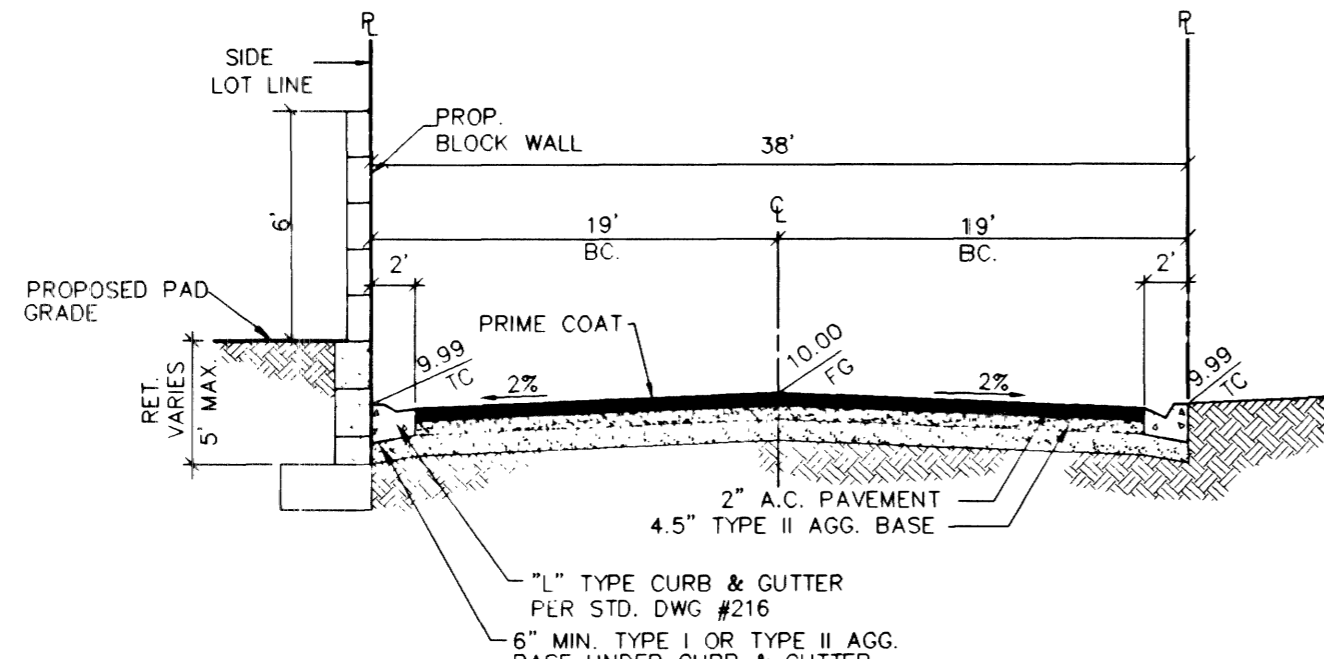


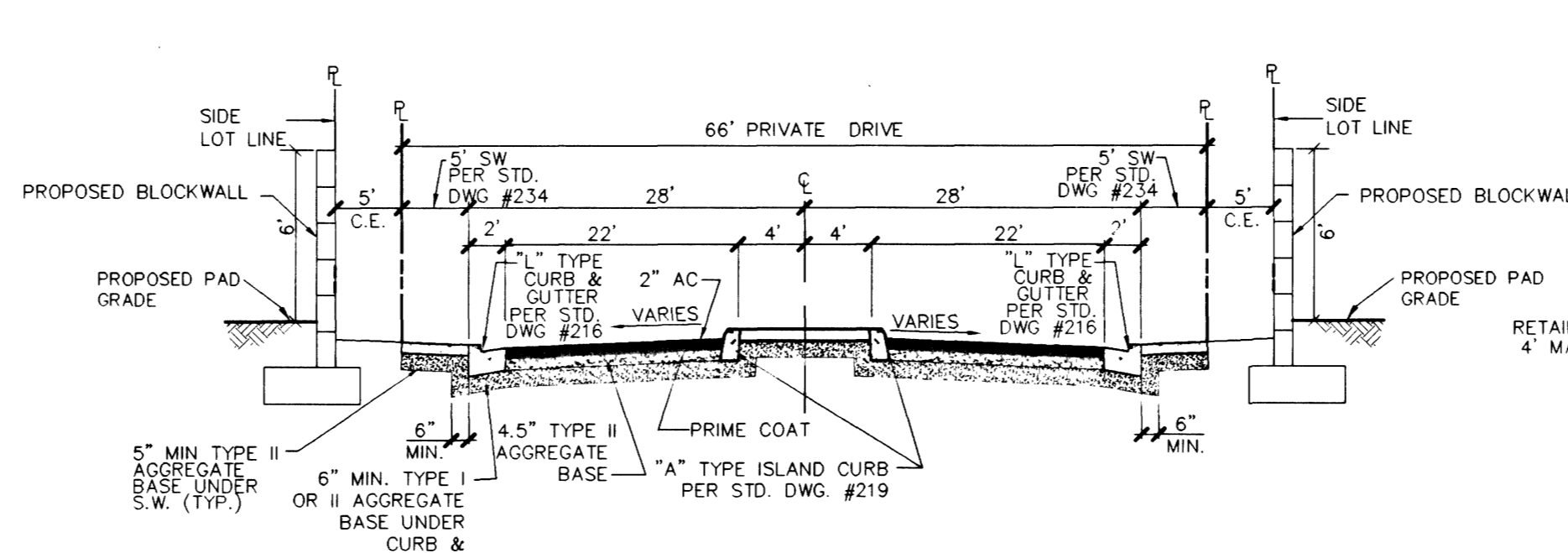
1 1
G1 G2 **TYPICAL 36' PRIVATE DRIVE**
(N.T.S.)

PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY HOME OWNERS ASSOCIATION



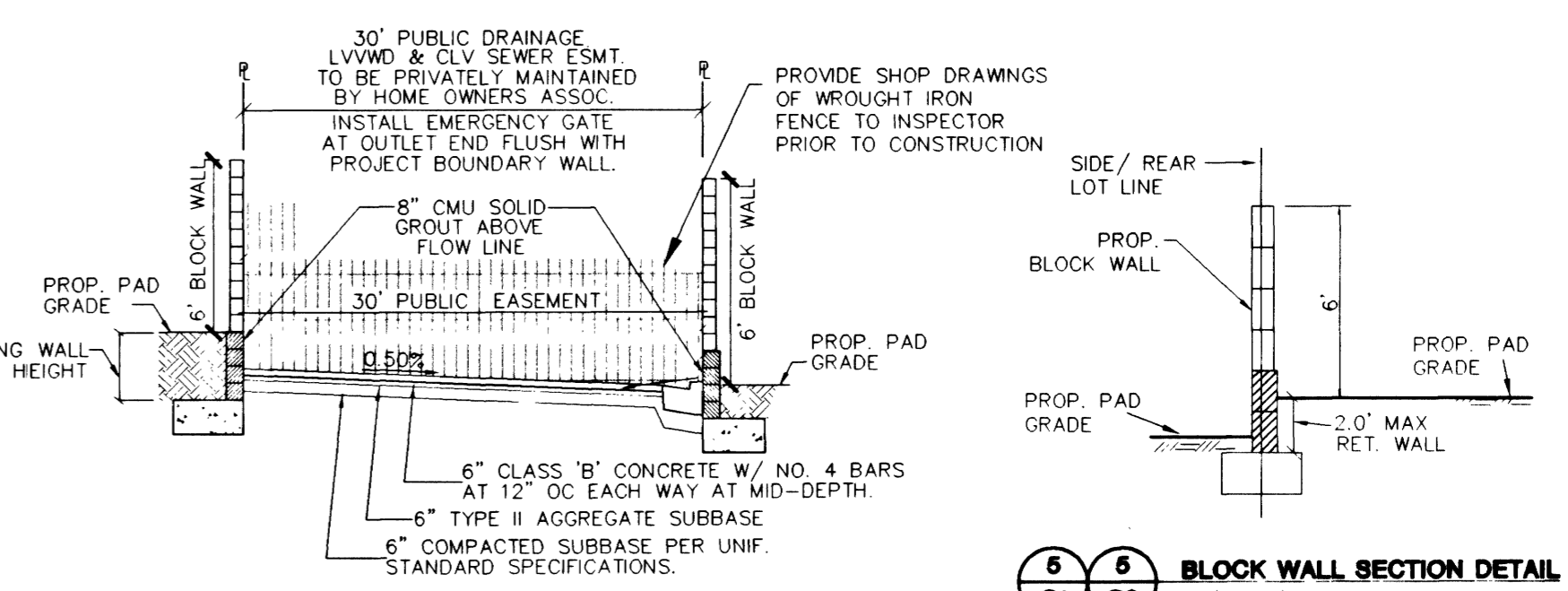
2 2
G1 G2 **TYPICAL 36' PRIVATE DRIVE**
(N.T.S.)

PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY HOME OWNERS ASSOCIATION



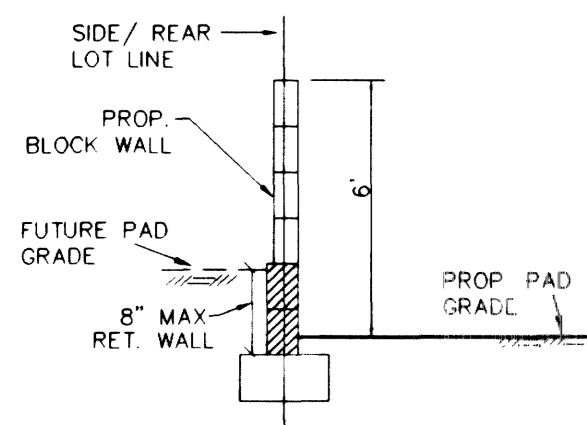
3
G1 **TYPICAL PRIVATE ENTRANCE WITH MEDIAN ISLAND**
(N.T.S.)

PUBLIC DRAINAGE EASEMENT TO BE PRIVATELY MAINTAINED BY HOME OWNERS ASSOCIATION

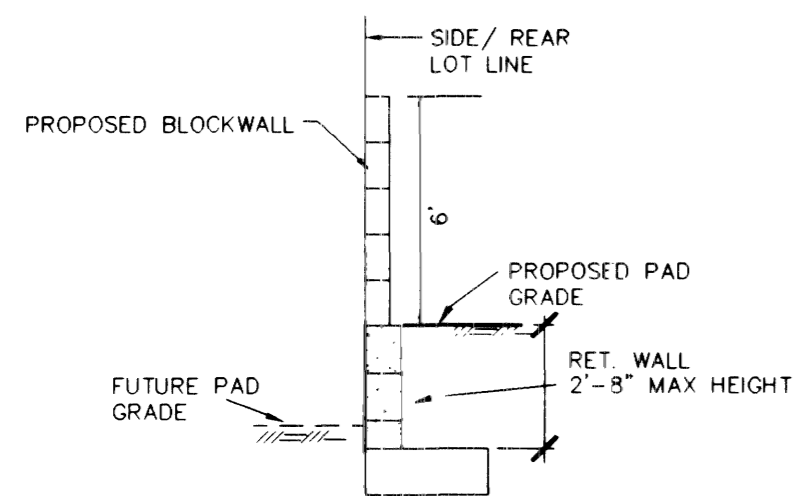


4
G2 **36' PUBLIC DRAINAGE EASEMENT DETAIL**
(N.T.S.)

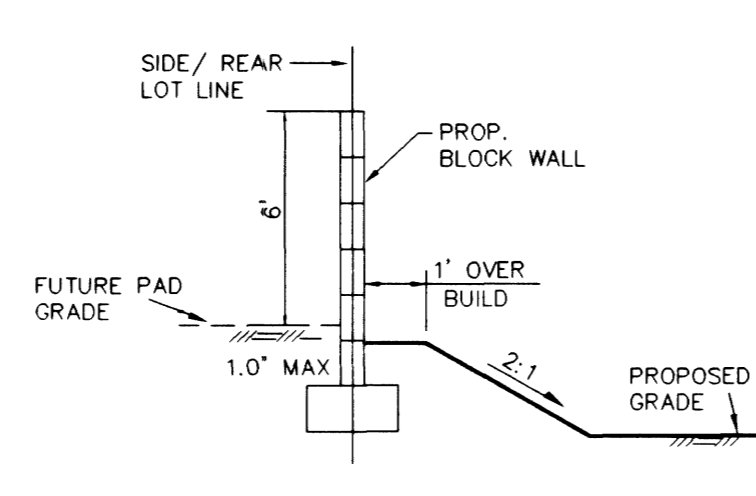
5 5
G1 G2 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



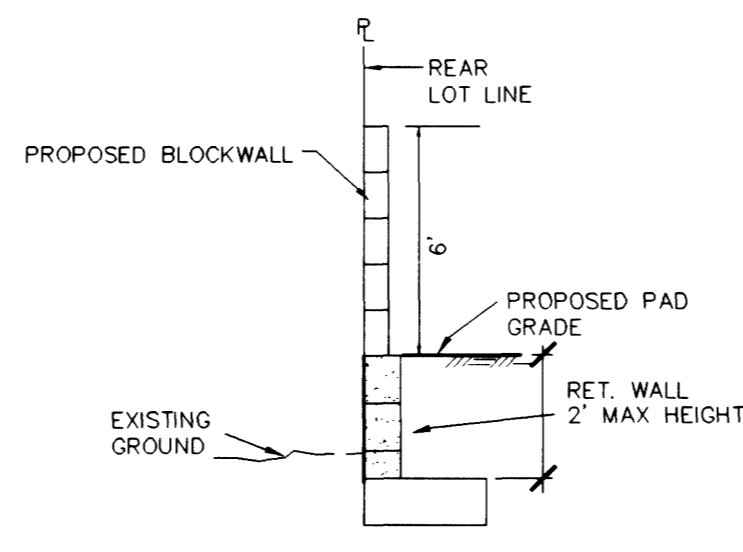
6 6
G1 G2 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



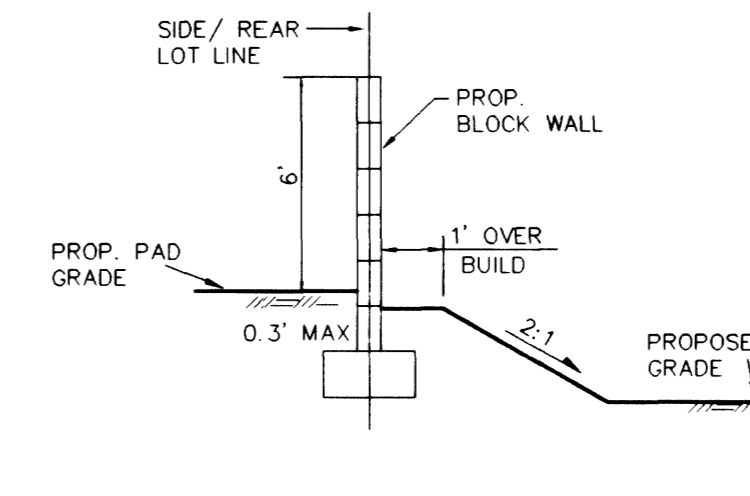
7
G2 **RETAINING WALL SECTION DETAIL**
(N.T.S.)



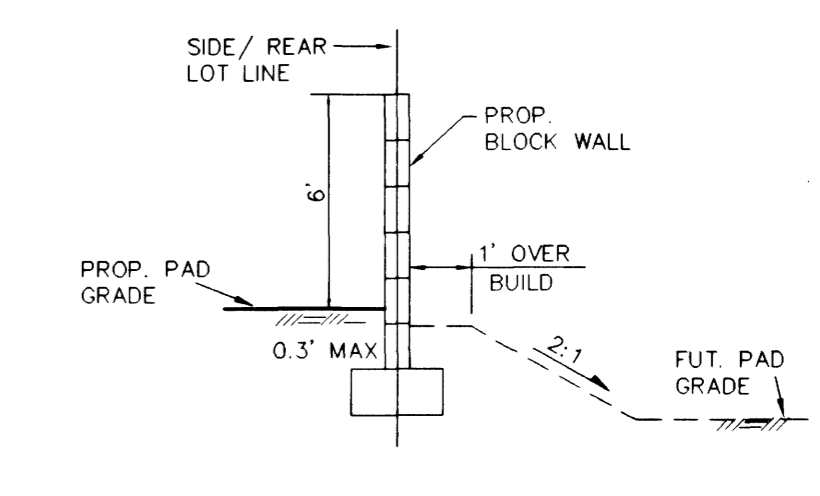
8 8
G1 G2 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



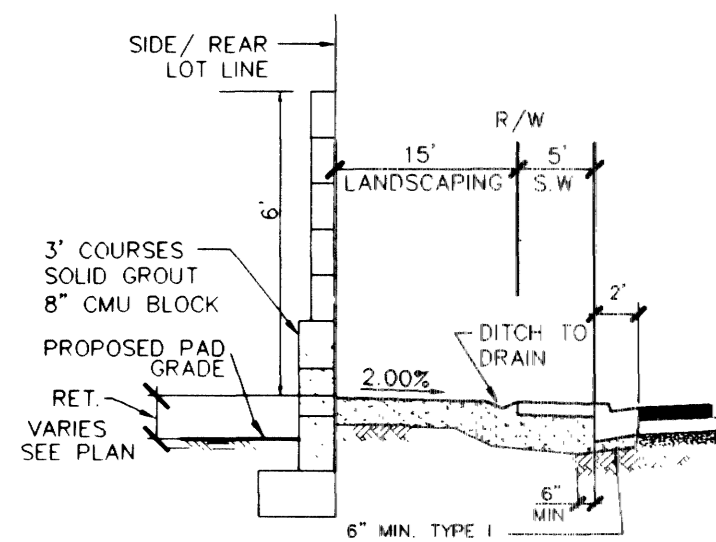
9 9
G1 G2 **RETAINING WALL SECTION DETAIL**
(N.T.S.)



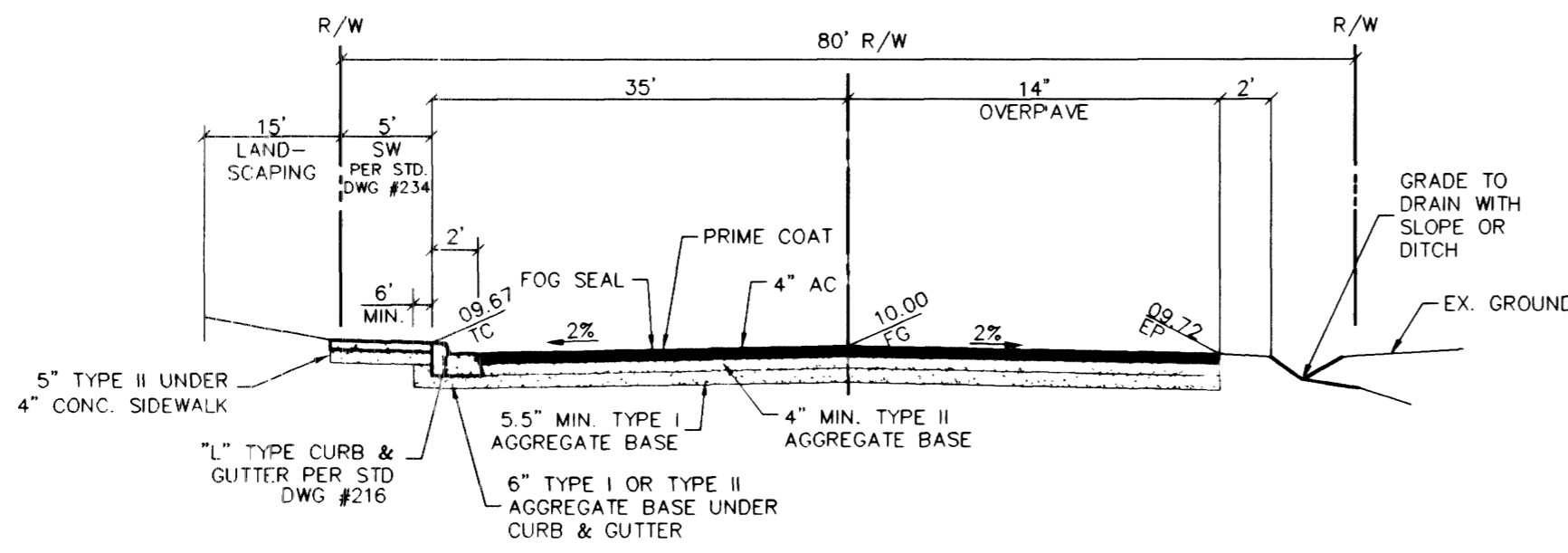
11
G1 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



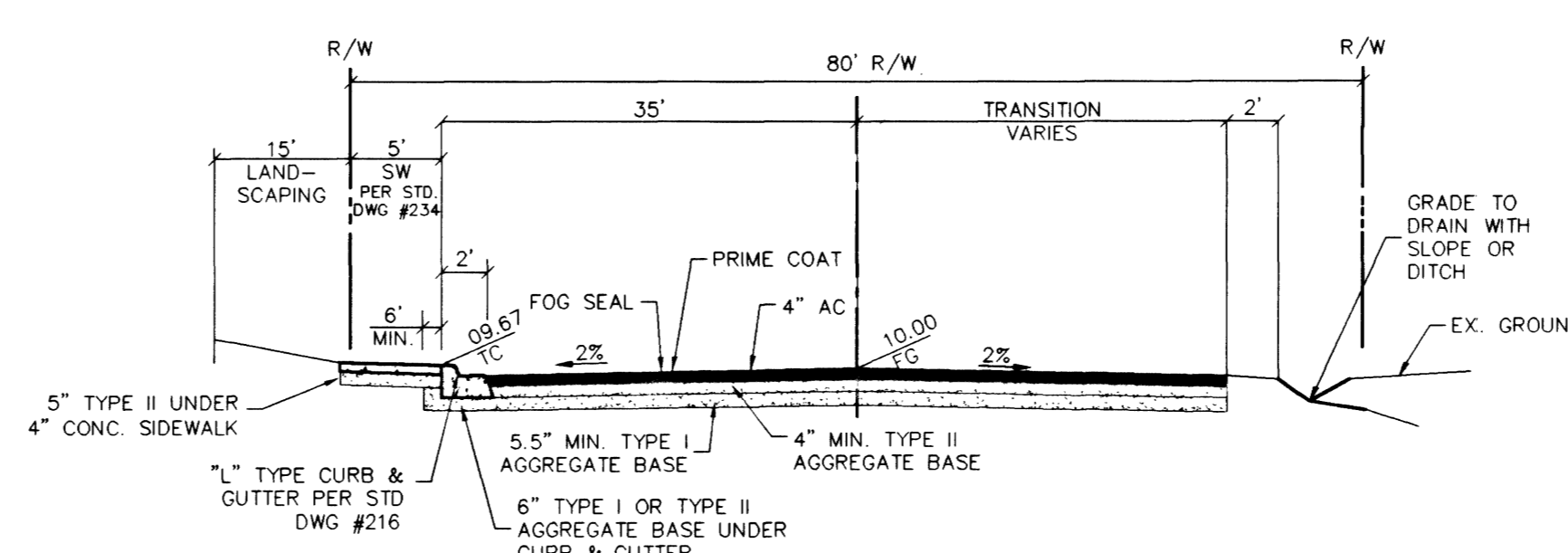
12
G1 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



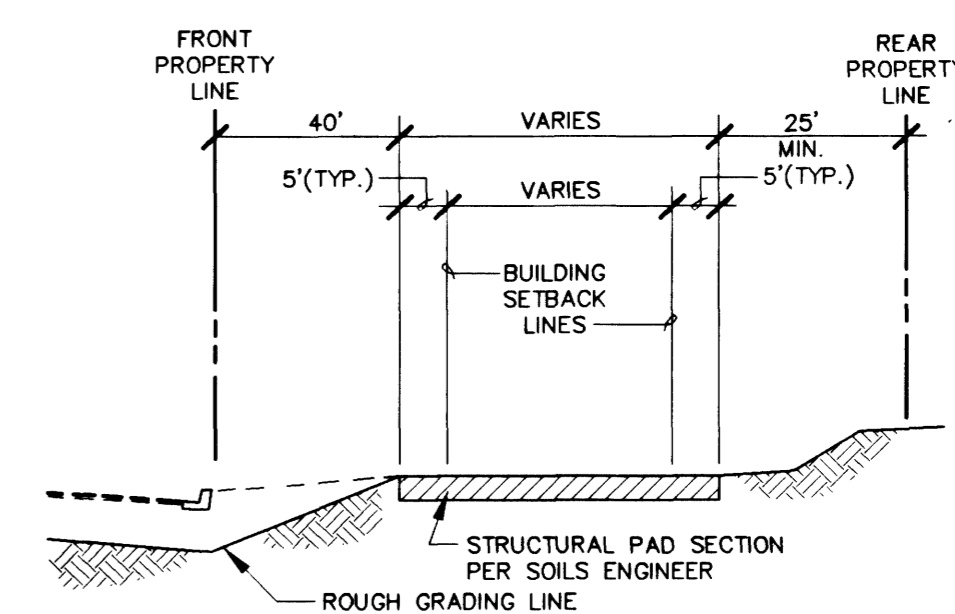
13
G1 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



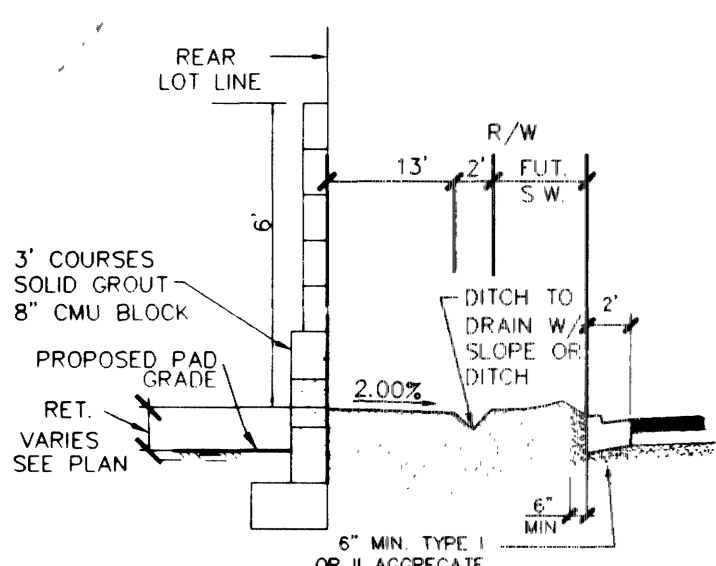
14
G1 **TYPICAL 80' HALF STREET SECTION (PUBLIC)**
(N.T.S.)



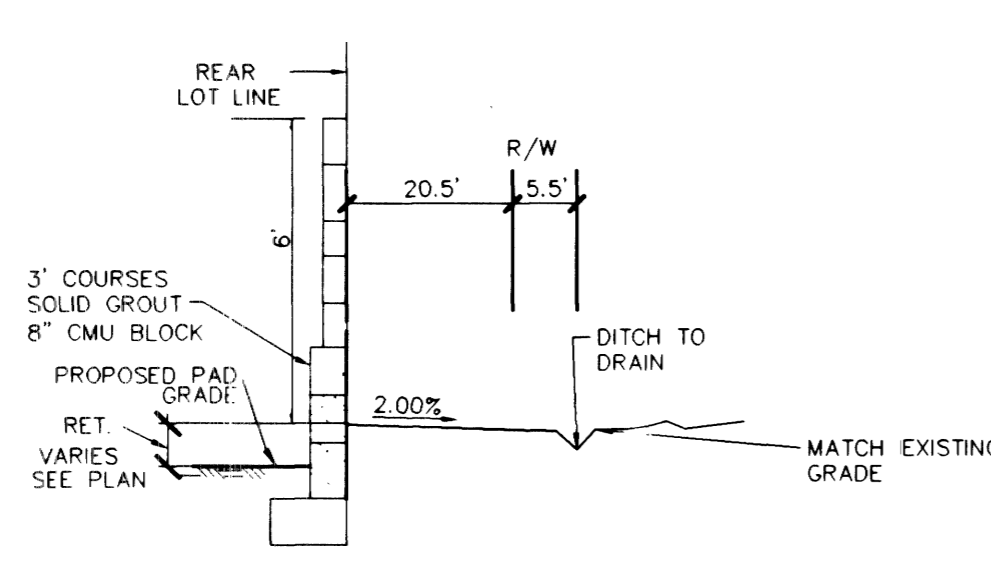
15
G1 **TYPICAL 80' HALF STREET SECTION (PUBLIC)**
(N.T.S.)



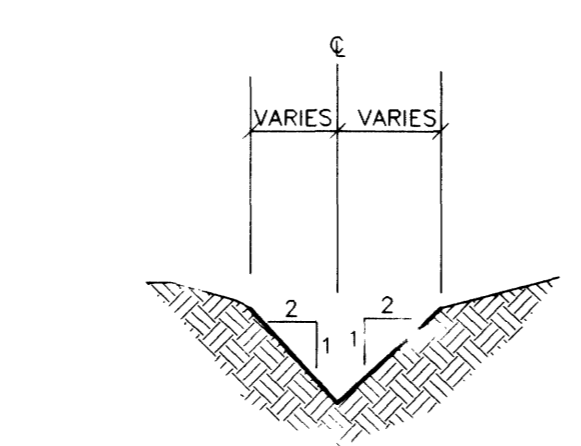
STANDARD SINGLE FAMILY DETACHED - NO SCALE
TYPICAL GRADING SECTION



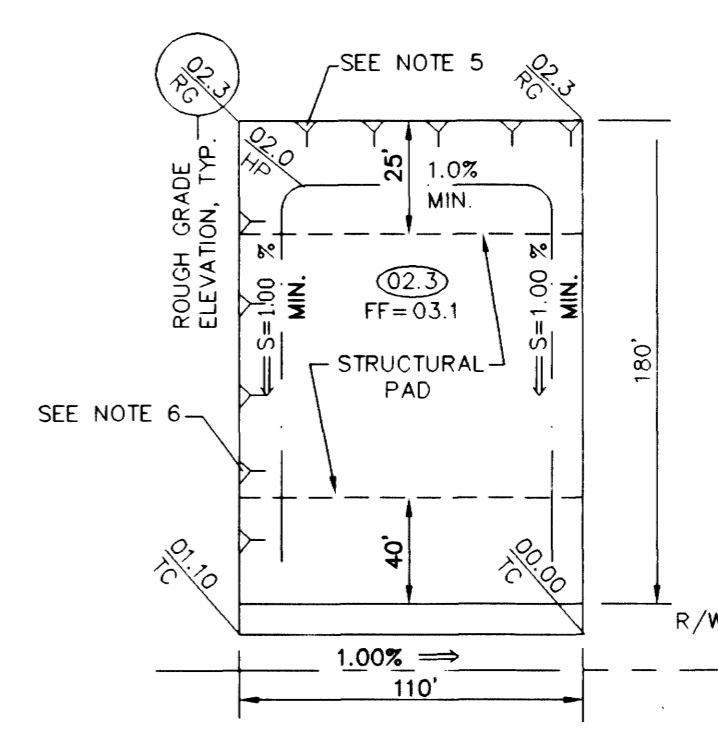
16
G4 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



17
G4 **BLOCK WALL SECTION DETAIL**
(N.T.S.)



18 18
G2 G4 **EARTHEN CHANNEL SECTION**
(N.T.S.)



TYPICAL GRADING PLAN

- NOTES:**
- STRUCTURAL PAD SHALL BE 10' BEYOND BLDG. SETBACK SEE TYPICAL GRADING SECTION.
 - REFER TO GENERAL NOTE 1.
 - REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
 - MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
 - MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 15' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
 - MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1. MINIMUM 1% DRAINAGE AWAY FROM BUILDING PAD.

CITY OF LAS VEGAS		2727 SOUTH RAINBOW BOULEVARD LAS VEGAS, NEVADA 89146-5148 PH. (702) 873-7550 FAX (702) 362-2597	
KB HOME		750 PILOT ROAD, SUITE F LAS VEGAS, NV 89119 (702) 614-2500	
DETAIL SHEET		IRON MOUNTAIN RANCH VILLAGE 8 UNIT 1	
DRAWN BY:	MAR '02	CHECKED BY:	MAR '02
DESIGNED BY:	RUS	PROJECT NO.:	6027-01
SCALE: 1"=40' HORIZ. NA VERT.		EXPIRES: 12-31-03	
SHEET		9 OF 20 SHEETS	
DRAWING NO.		107Y-4604-0-1	

45136