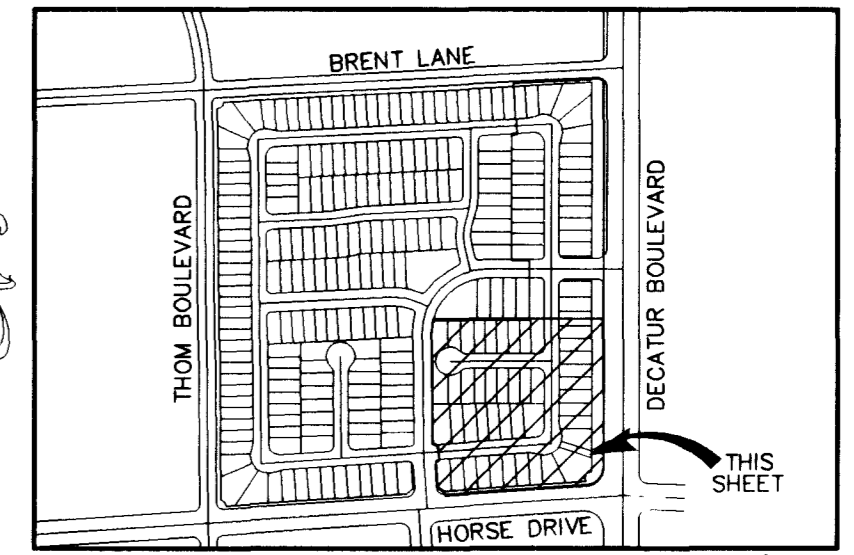
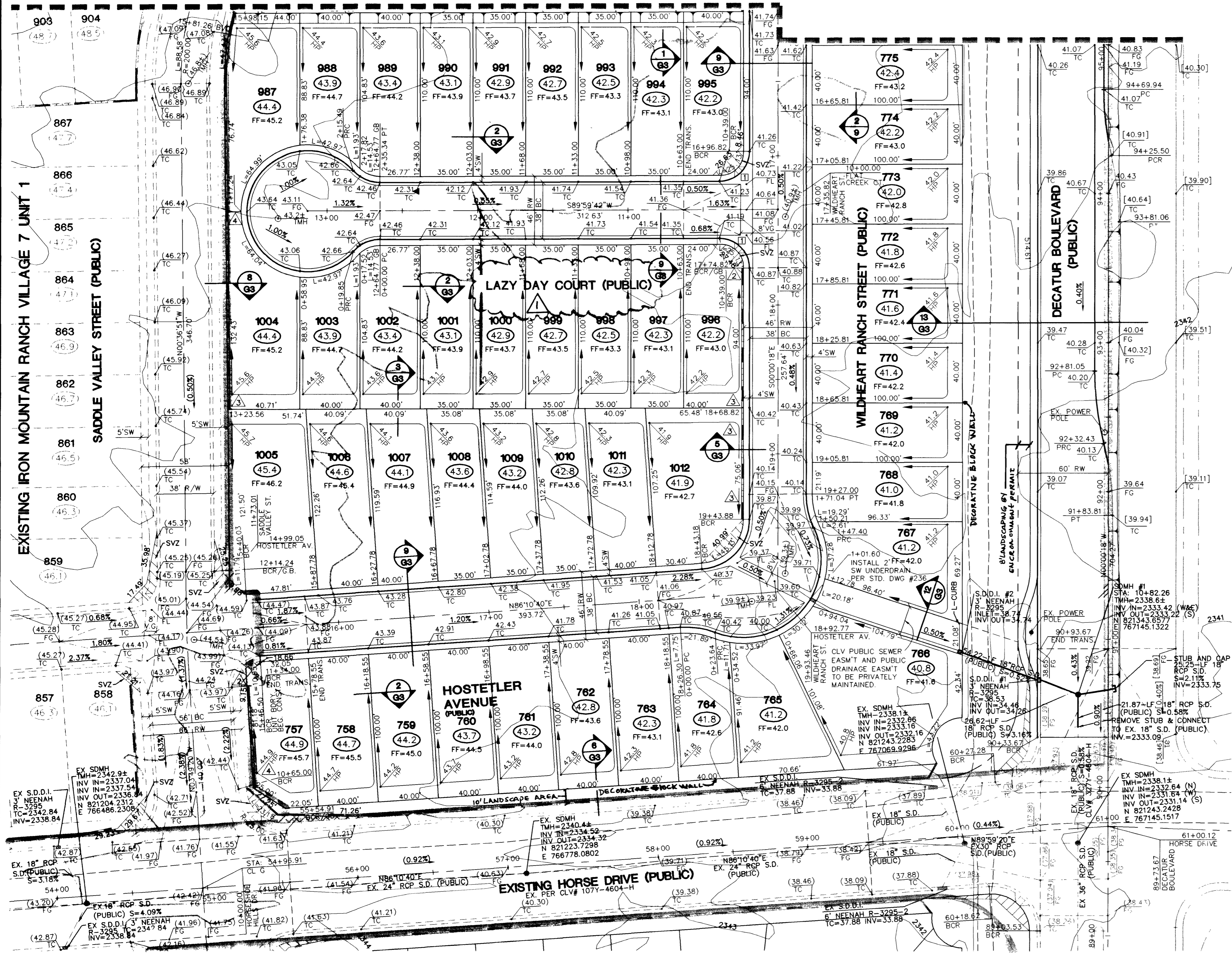
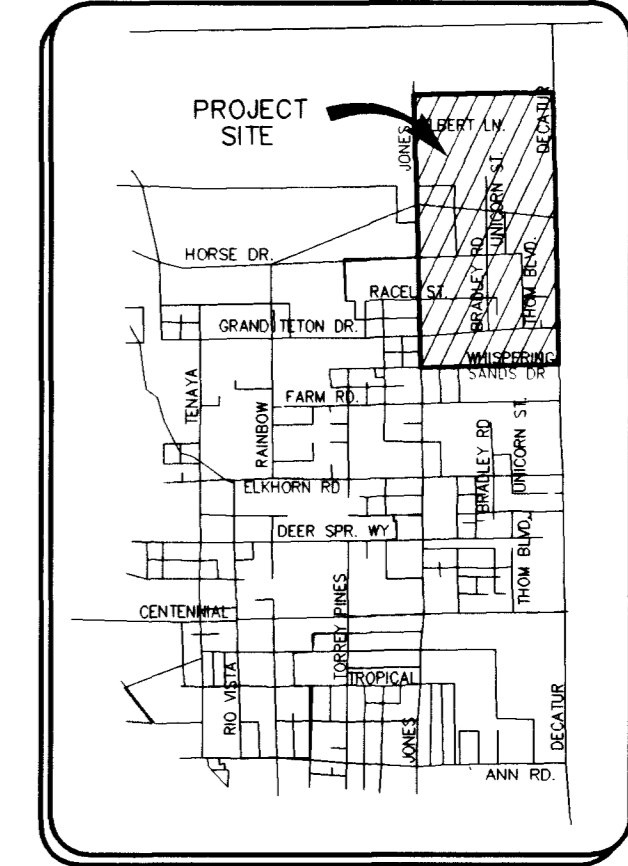


MATCHLINE SEE SHEET GR2



VILLAGE 7 - KEY MAP

NOT TO SCALE



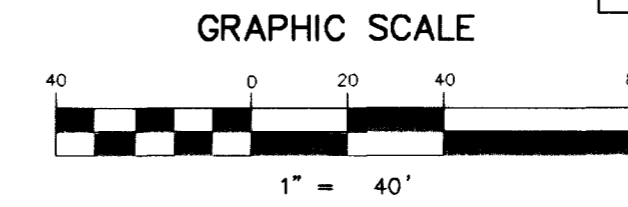
LOCATION MAP

NOT TO SCALE

NOTE: RETAINING WALL HEIGHTS ARE TO BE DETERMINED USING CONVERSION TABLE BELOW.

TOP OF RETAINING WALL TO BE AT OR ABOVE UPPER PAD ELEVATION.

RETAINING WALL	CONVERSION TABLE
1	0.67'
2	1.33'
3	2.00'
4	2.67'
5	3.33'
6	4.00'
7	4.67'
8	5.33'



GRAPHIC SCALE

1" = 40'

CITY OF LAS VEGAS GRADING NOTES

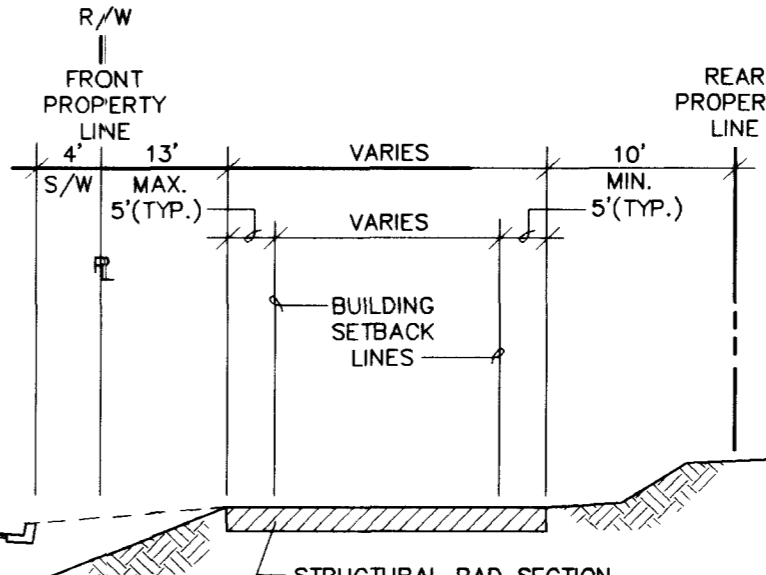
- IN THE EVENT THAT ANY UNFORSEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- CONTRACTOR SHALL TAKE RESPONSIBILITY FOR ALL EXCAVATION, ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFT OVER FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED.
- CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:

HORIZONTAL VERTICAL COMPACTION

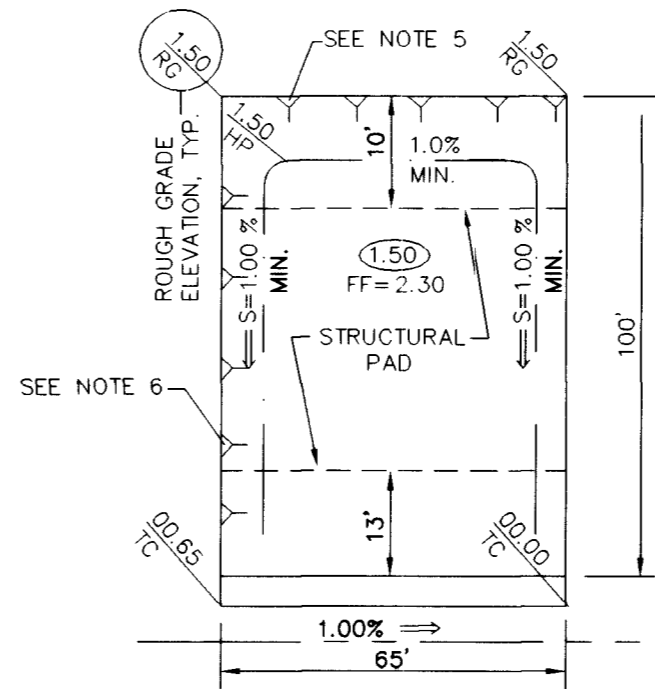
- A. PAVED AREA SUBGRADE 0.1" +0.0" to -0.1" See Solls Report
- B. ENGINEERING FILL 0.5" +0.1" to -0.1" See Solls Report
- COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM ALL PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
- IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

NOTE

DECATUR BOULEVARD WILL NOT BE PAVED UNTIL THE OFF-SITE SEWER LINE IS INSTALLED. REFER TO DECATUR/IRON MOUNTAIN HIGH SCHOOL OFF-SITE SEWER PLANS PER PDS&I.



TYPICAL GRADING SECTION  
STANDARD SINGLE FAMILY DETACHED - NO SCALE



TYPICAL GRADING PLAN

NOTES:

- STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK SEE TYPICAL GRADING SECTION.
- REFER TO GENERAL NOTE 1.
- REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
- MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
- MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN, EXCEPT THAT WITHIN 15' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
- MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1. MINIMUM 1% DRAINAGE AWAY FROM BUILDING PAD.

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS FOR THIS PROJECT IS GRID NORTH AS DEFINED BY THE NEVADA COORDINATE SYSTEM OF 1983 (NCS83) EAST ZONE (2701) DETERMINED BY CLARK COUNTY GIS CONTROL POINTS 802, 804 AND 805, AS SHOWN ON A RECORD OF SURVEY ON FILE IN THE CLARK COUNTY, NEVADA, RECORDER'S OFFICE, IN BOOK 88 OF SURVEYS, AT PAGE 53.

**PROJECT BENCHMARK**  
PROJECT DATUM: NAVD88  
CITY OF LAS VEGAS BENCHMARK 1LV90-13NS  
NAVD88 ELEVATION: 710.9608 METERS (2332.54 FEET)  
ONLY BM 413148, NAVD 88 ELEV=710.953 METERS (2332.52 FEET) DIAMETER CONCRETE MONUMENT 77 FEET SOUTH & 54 FEET WEST OF N.E. CORNER SEC. 13T19R60E 10' EAST OF LARGE POWER POLE.

Avoid cutting underground utility lines. It's costly.

Avoid overhead power line contact.

Call before you Dig  
1-800-227-2600

Call before you OVERHEAD  
1-702-593-6111

SIDEWALK RAMPS TABLE

PER STD. DWG. 235 CASE 1

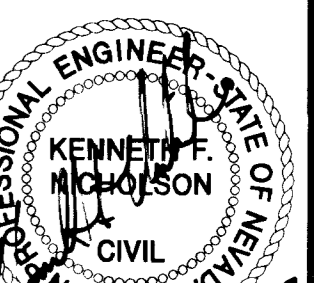
NO.	DIM "A"	DIM "B"	CASE
1	8.0'	8.0'	I
2	4.0'	9.5'	I

CITY OF LAS VEGAS

KB HOME  
750 PILOT ROAD, SUITE F  
LAS VEGAS, NV 89119  
(702) 614-2500

GRADING PLAN  
IRON MOUNTAIN RANCH  
VILLAGE 7  
UNIT 3

DRAWN BY: DEC '01  
DESIGNED BY: DEC '01  
CHECKED BY: DEC '01  
PROJECT NO: 1077-4604-7-3



CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.  
KEN NICHOLSON PE#10539  
DATE: 6-27-02