

1 BLOCK WALL SECTION DETAIL (N.T.S.)

2 BLOCK WALL SECTION DETAIL (N.T.S.)

3 RETAINING WALL SECTION DETAIL (N.T.S.)

4 RETAINING WALL SECTION DETAIL (N.T.S.)

5 RETAINING WALL SECTION DETAIL (N.T.S.)

6 BLOCK WALL SECTION DETAIL (N.T.S.)

7 BLOCK WALL SECTION DETAIL (N.T.S.)

8 BLOCK WALL SECTION DETAIL (N.T.S.)

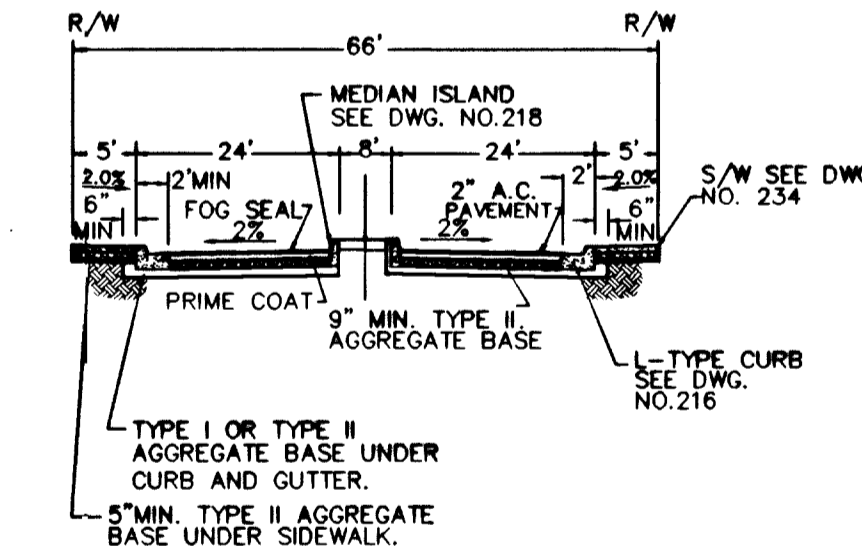
9 30' PUBLIC DRAINAGE EASEMENT DETAIL & CLV PUBLIC SEWER EASEMENT DETAIL (TO BE PRIVATELY MAINTAINED) (N.T.S.)

10 RETAINING WALL SECTION DETAIL (N.T.S.)

11 BERM SECTION (N.T.S.)

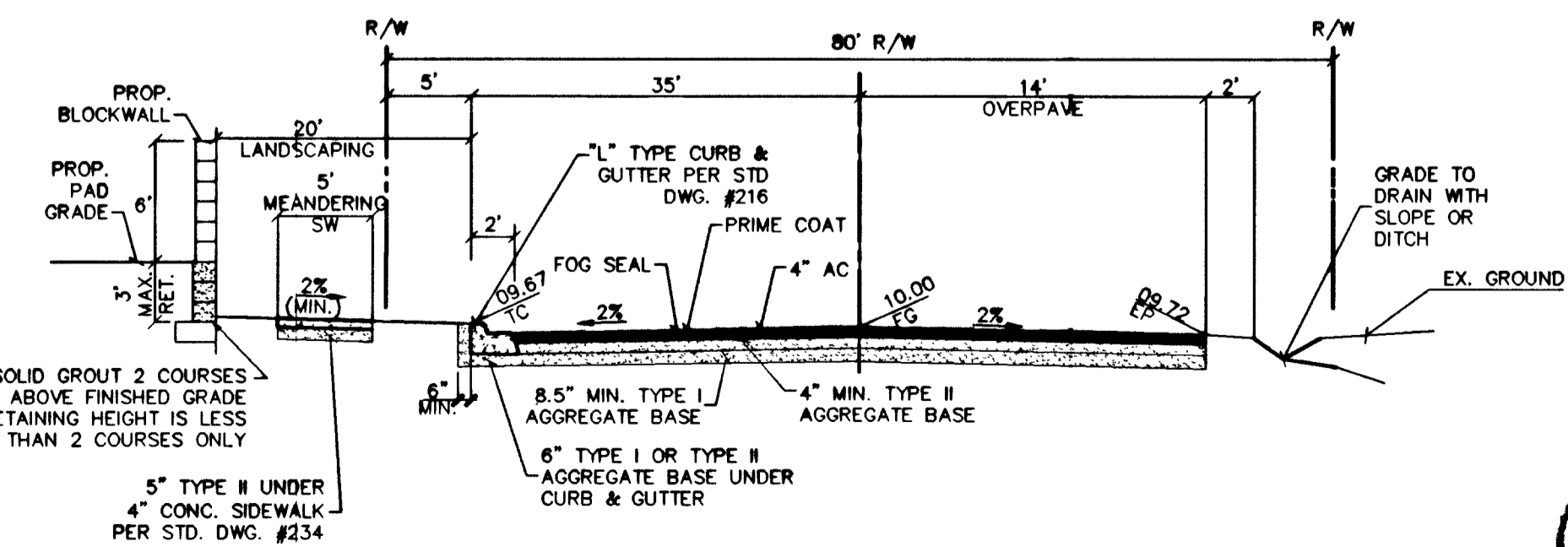
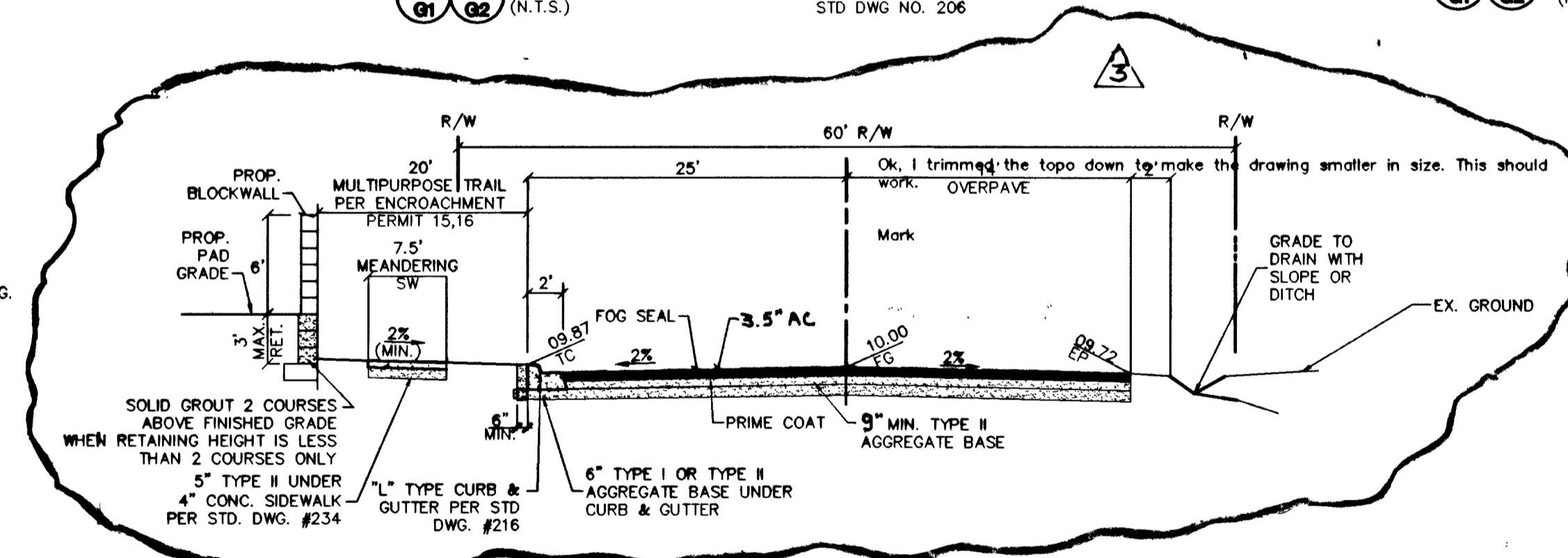
12 TYPICAL 48' STREET SECTION (PUBLIC) (N.T.S.)

13 TYPICAL 66' STREET SECTION (PUBLIC) (N.T.S.)

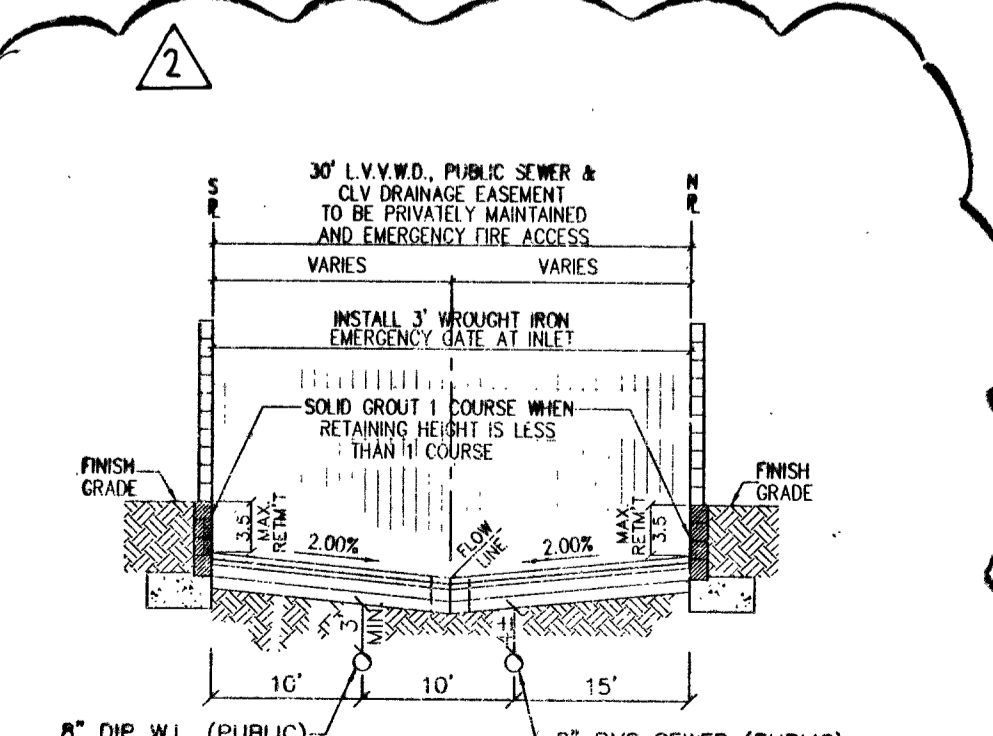


14 TYPICAL 66' ENTRANCE (PUBLIC) (N.T.S.)

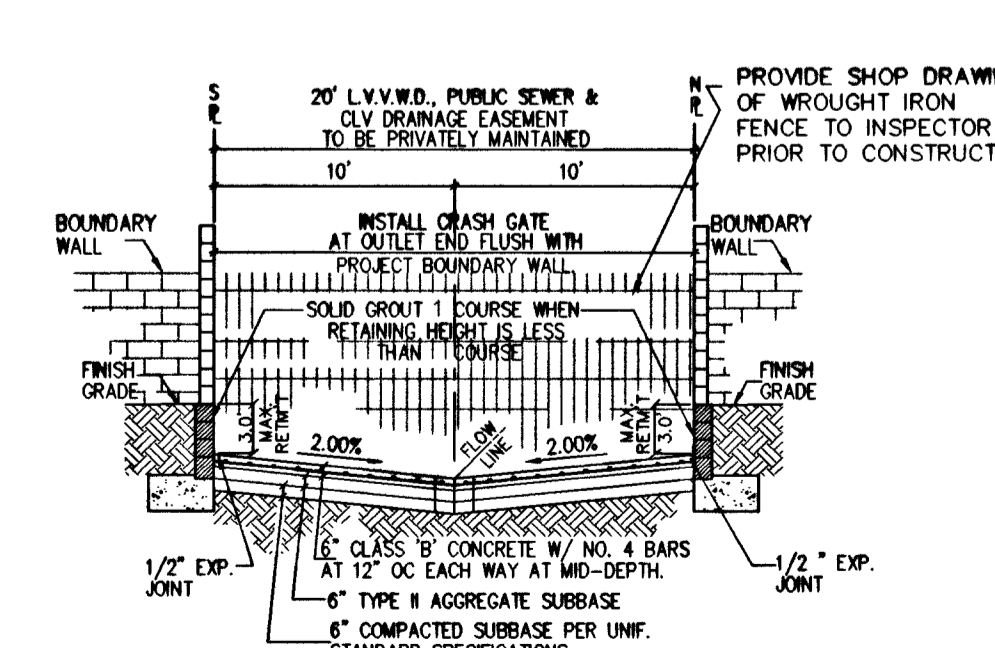
15 TYPICAL 60' HALF STREET (PUBLIC) (N.T.S.)



16 TYPICAL 60' HALF STREET (PUBLIC) (N.T.S.)



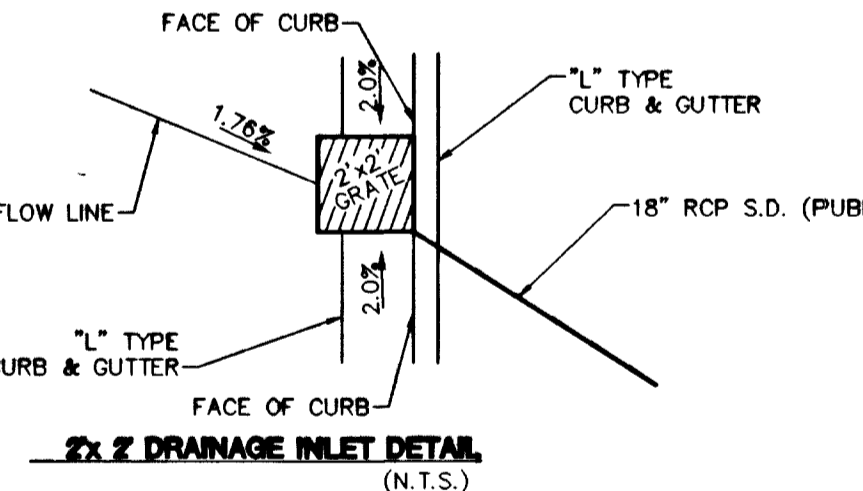
17 30' PUBLIC DRAINAGE EASEMENT DETAIL & L.V.V.W.D. UTILITY CLEARANCE DETAIL (TO BE PRIVATELY MAINTAINED) (N.T.S.)



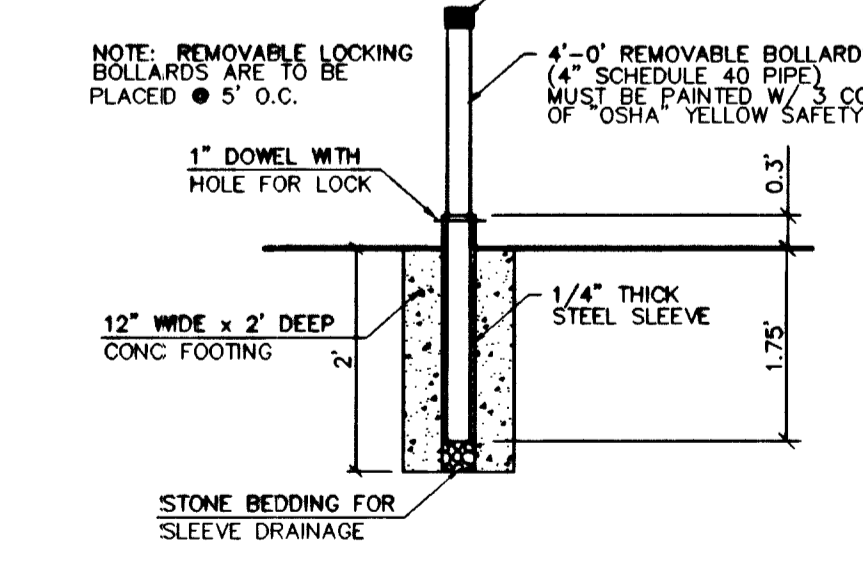
18 20' PUBLIC DRAINAGE EASEMENT DETAIL & CLV PUBLIC SEWER EASEMENT DETAIL (TO BE PRIVATELY MAINTAINED) (N.T.S.)

RETAINING WALL CONVERSION TABLE

STANDARD RETAINER	RETAINER NEXT TO SIDEWALK	
1	0.4-0.7'	N/A
2	0.71-0.83'	N/A
3	0.84-1.5'	0.7-1.17'
4	1.51-2.17'	1.18-1.83'
5	2.18-2.83'	1.84-2.5'
6	2.84-3.5'	2.51-3.17'
7	3.51-4.17'	3.18-3.83'
8	4.18-4.83'	3.84-4.5'
9	4.84-5.5'	4.51-5.17'
10	5.51-6.17'	5.18-5.83'
11	6.18-6.83'	5.84-6.5'
12	6.84-7.5'	6.51-7.17'

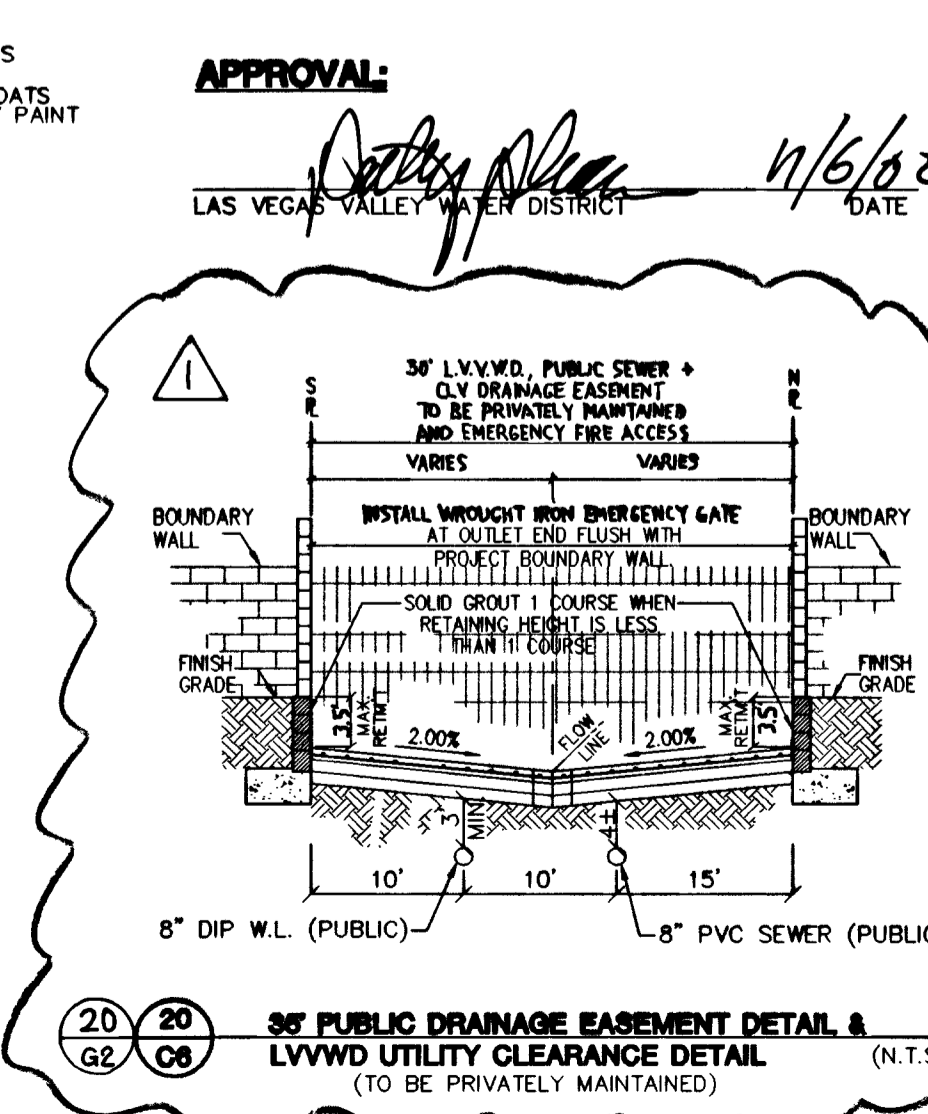


2x2 DRAINAGE INLET DETAIL (N.T.S.)



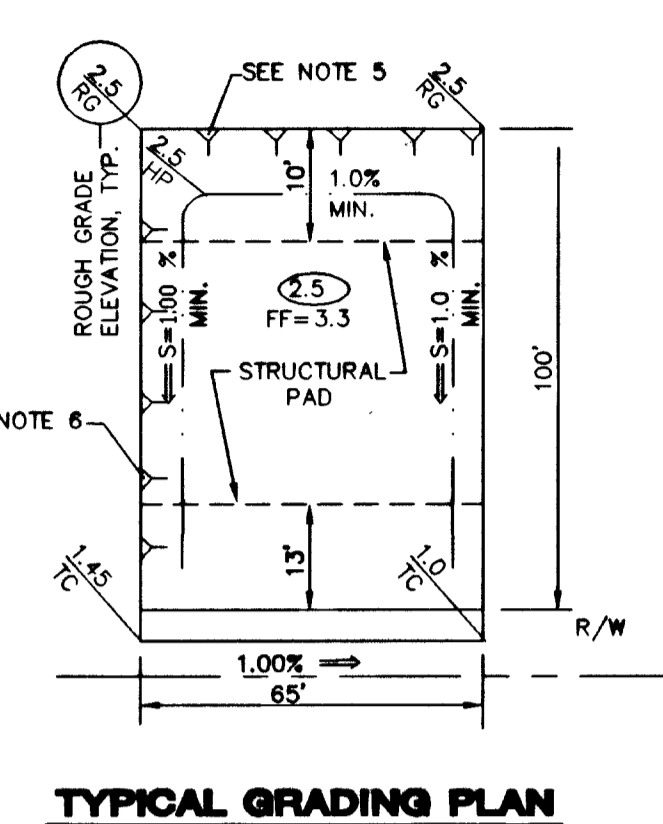
REMOVABLE BOLLARD POLE DETAIL (NOT CONCRETE FILLED) (N.T.S.)

NOTE: REMOVABLE LOCKING BOLLARDS ARE TO BE PLACED @ 5' O.C.
 4'-0" REMOVABLE BOLLARDS (4" SCHEDULE 40 PIPE) MUST BE PAINTED W/ 3 COATS OF "OSHA" YELLOW SAFETY PAINT.
 1" DOWEL WITH HOLE FOR LOCK
 1/4" THICK STEEL SLEEVE
 12" WIDE x 2" DEEP CONC. FOOTING
 STONE BEDDING FOR SLEEVE DRAINAGE
 DATE: 11/4/02
 SOUTHERN NEVADA WATER AUTHORITY
 SNWA APPROVAL IS VALID FOR ONE (1) YEAR FROM THE SIGNATURE DATE. IF CONSTRUCTION WITHIN THE EASEMENT OR RESTRICTED PIPE SAFETY ZONE IS NOT COMPLETE, PLANS MUST BE RESUBMITTED TO SNWA FOR APPROVAL.

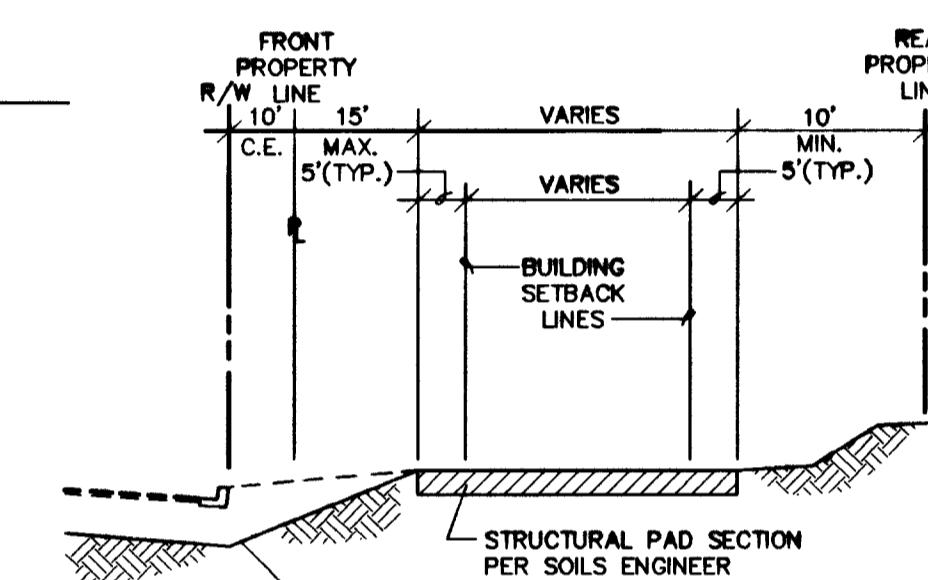


20 30' PUBLIC DRAINAGE EASEMENT DETAIL & L.V.V.W.D. UTILITY CLEARANCE DETAIL (TO BE PRIVATELY MAINTAINED) (N.T.S.)

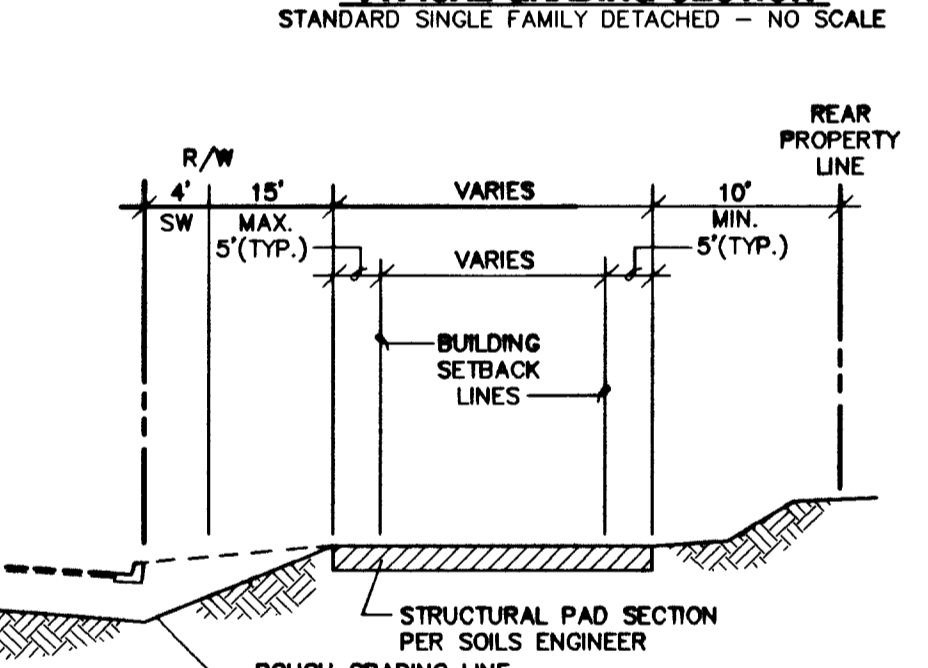
- NOTES:**
- STRUCTURAL PAD SHALL BE 5' BEYOND BLDG. SETBACK SEE TYPICAL GRADING SECTION
 - REFER TO GENERAL NOTE 1.
 - REAR LOT CORNER GRADES ARE EQUAL TO ADJACENT LOTS UNLESS SHOWN OTHERWISE.
 - MINIMUM SIDEYARD X-SLOPE SHALL BE 2%.
 - MAXIMUM REAR YARD SLOPE IS 2:1 AS SHOWN EXCEPT THAT WITHIN 15' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1.
 - MAXIMUM SIDEYARD SLOPE IS 5:1 AS SHOWN EXCEPT THAT WITHIN 5' OF THE HOUSE, THE MAXIMUM SLOPE IS 12:1. MINIMUM 1% DRAINAGE AWAY FROM BUILDING PAD.



TYPICAL GRADING PLAN



TYPICAL GRADING SECTION STANDARD SINGLE FAMILY DETACHED - NO SCALE



TYPICAL GRADING SECTION STANDARD SINGLE FAMILY DETACHED - NO SCALE

CITY OF LAS VEGAS
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 CONSULTING ENGINEERS • PLANNERS • LAND SURVEYORS

KB HOME
 1978-03 ECR. REVISED 11/11/02 1512L 1512L 1512L 1512L
 2/19/03 ADH ADDED DETAIL 17 4/13/03 WJG
 1/3/03 ADH REVISED DETAIL 20 TO INCLUDE FIRE ACCESS

IRON MOUNTAIN RANCH VILLAGE 6 UNIT 1

GRADING DETAILS AND STREET SECTION

DRAWN BY: R.M.S. DESIGNED BY: R.M.S. CHECKED BY: KFN PROJECT NO: 5974-1 SCALE: 1"=40' HORIZ. VERT. SHEET 9 OF 39 SHEETS DRAWING NO. 1571-4604-6-1

APPROVAL: LAS VEGAS VALLEY WATER DISTRICT DATE: 11/6/02

PROFESSIONAL ENGINEER STATE OF NEVADA
 KENNETH W. NICHOLSON
 CIVIL
 No. 70539
 EXPIRES 12-31-03