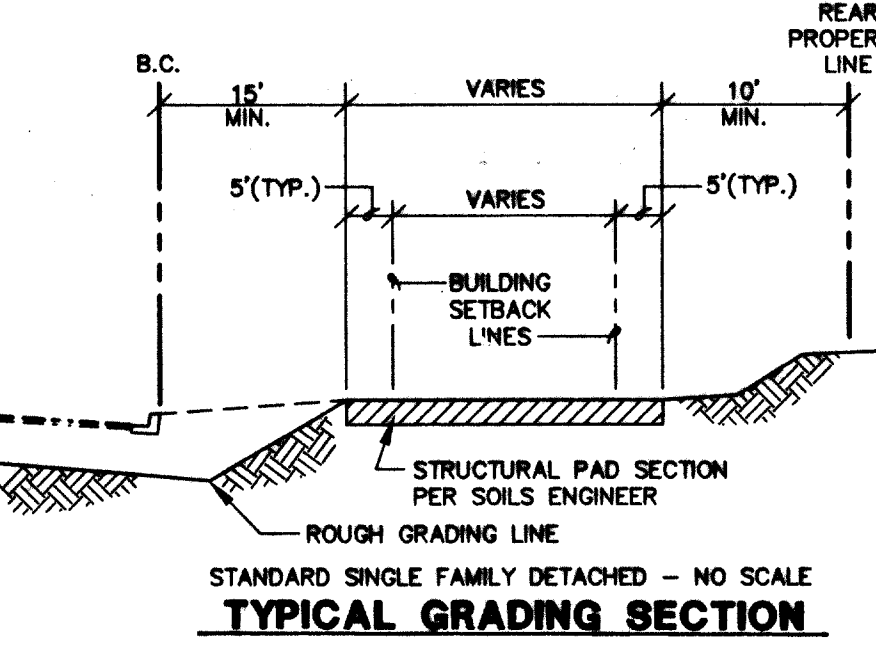
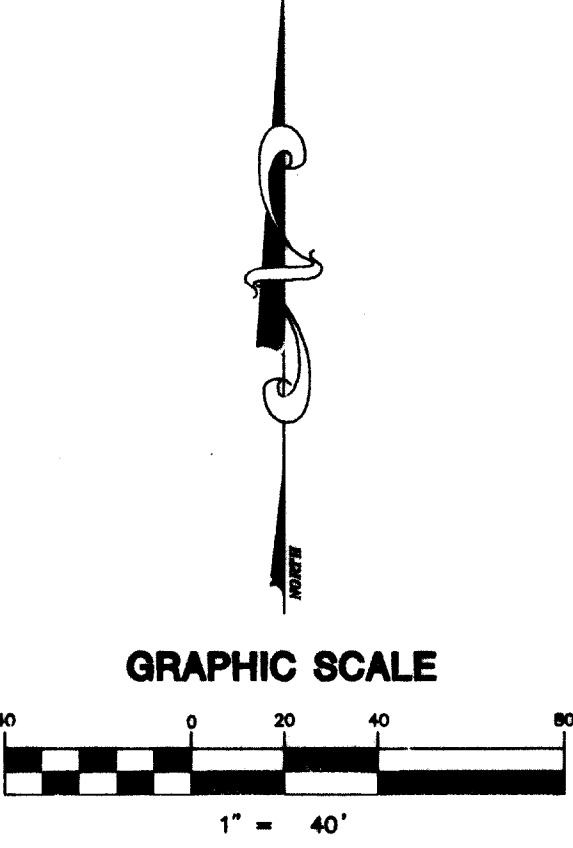
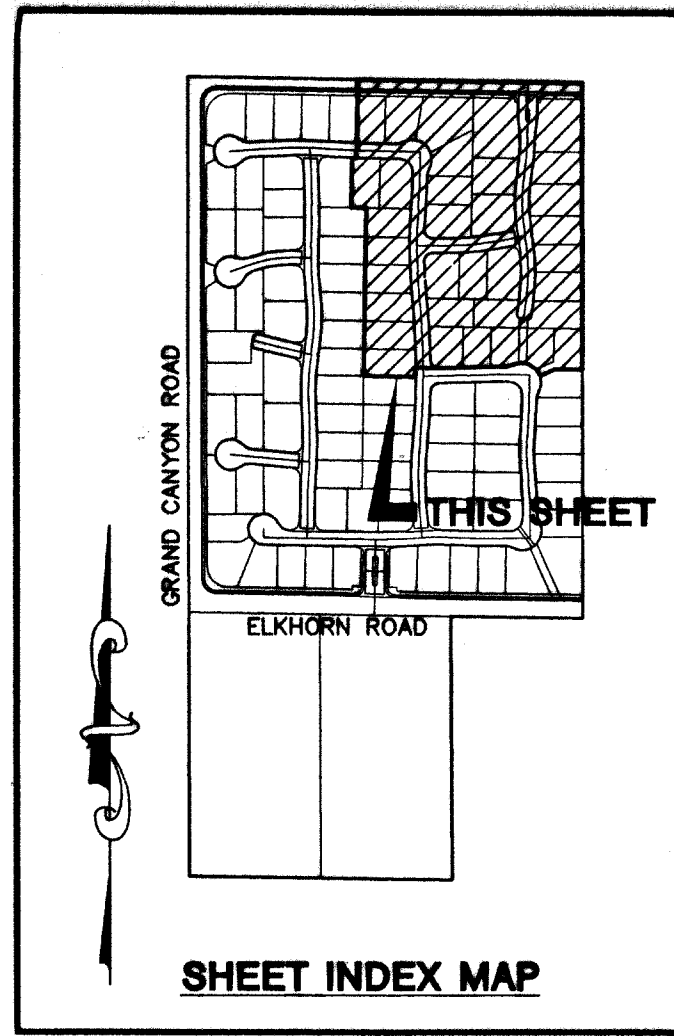




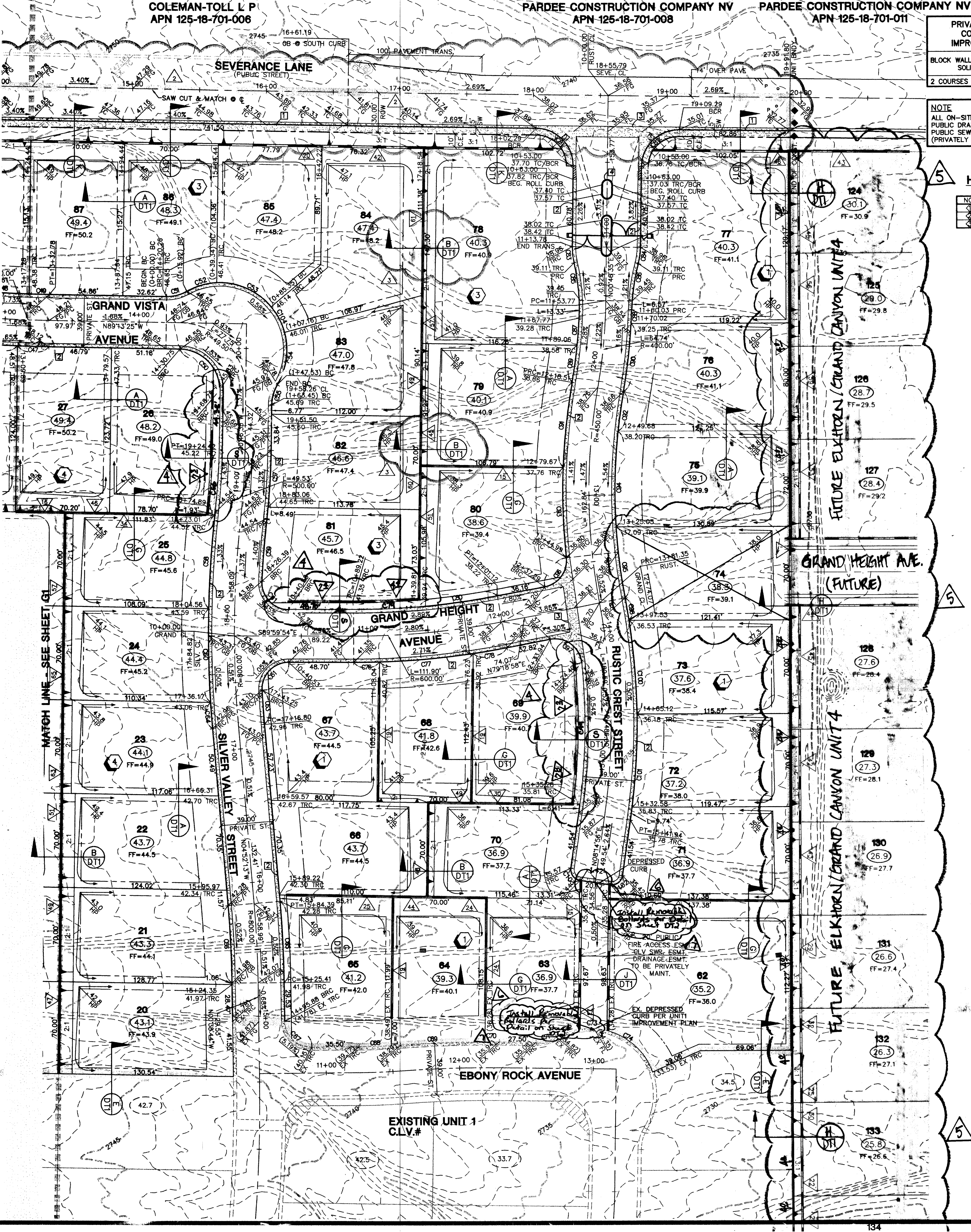
Call before you Dig
1-800-227-2800

Call before you Overhead
1-702-593-6111

BENCHMARK
PROJECT DATUM: NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88)
PROJECT BENCHMARK: CLARK COUNTY BENCHMARK 1090304
NAVD88 ELEVATION: 819.508 METERS (2686.67 FEET)
RIVET AND SQUARE ALUMINUM PLATE IN THE SOUTHEAST CORNER OF A ELECTRICAL CABINET BASE (#00720), 200 FT. SOUTH AND 40 FT. WEST CENTENNIAL PKWY. AND GRAND CANYON DR.

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS PROJECT IS NORTH 00°06'46" WEST BEING THE WEST LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 18, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA, AS SHOWN ON A RECORD OF SURVEY ON FILE IN THE CLARK COUNTY, NEVADA, RECORDER'S OFFICE, IN FILE 114 AT PAGE 57.

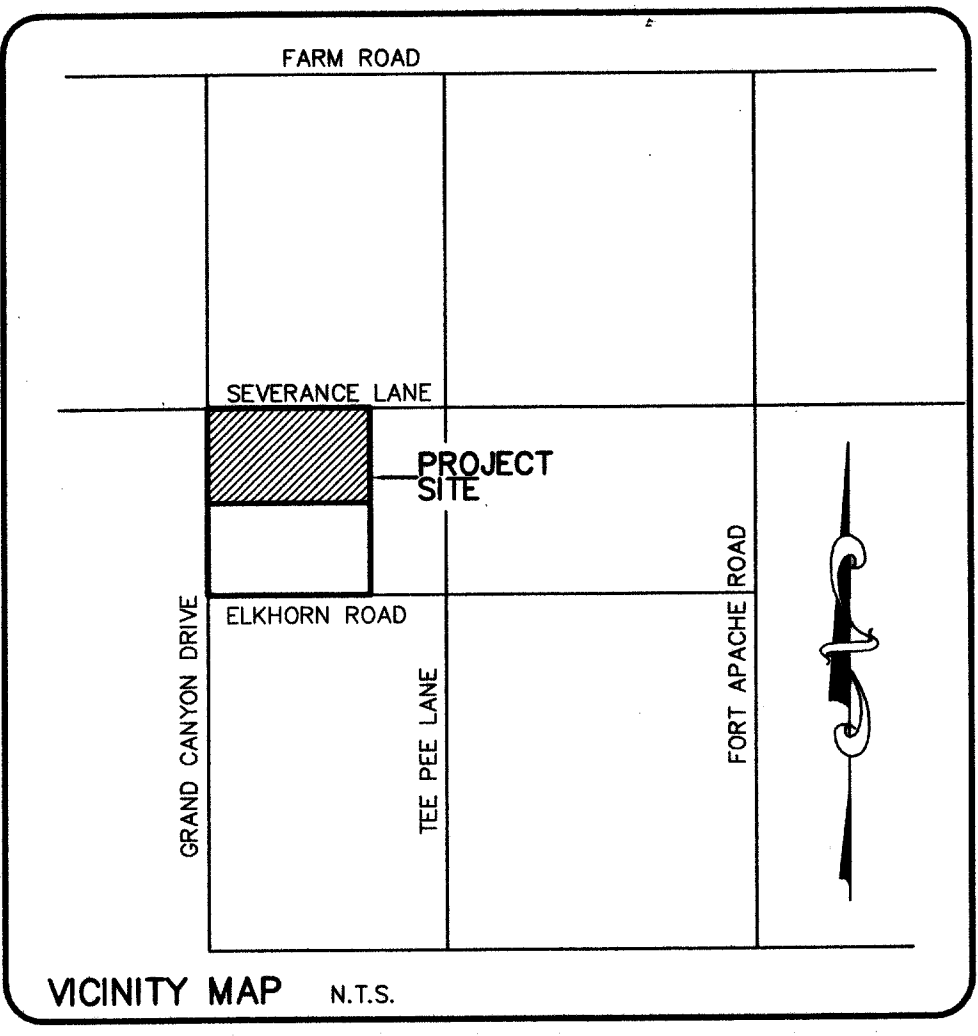
58225 6106 67758 R6m 73093



PRIVATE FLOOD CONTROL IMPROVEMENTS	QUANTITY
BLOCK WALL WITH 1 COURSE SOLID GROUT	957 L.F.
2 COURSE STEM WALL	1,660 L.F.

NOTE
ALL ON-SITE PRIVATE STREET ARE PUBLIC DRAINAGE EASEMENTS AND PUBLIC SEWER EASEMENTS (PRIVATELY MAINTAINED)

HC RAMP DATA			
NO.	"A"	"B"	CASE
1	4.5'	21.5'	I
2	4.5'	9.5'	I
3	4.5'	12.0'	I



BACK OF CURB CURVE TABLE				
CURVE	LENGTH	RADIUS	TANGENT	DELTA
C47	23.42	869.50	11.71	1'32'35"
C48	42.13	830.50	21.07	2'54'23"
C49	15.14	830.50	7.57	1'00'51"
C50	47.12	30.00	30.00	90'00'00"
C51	15.92	30.00	8.15	30'24'08"
C52	23.42	50.00	11.93	28'50'22"
C53	46.01	50.00	24.78	52'43'11"
C54	40.37	50.00	21.36	46'15'24"
C55	15.92	30.00	8.15	30'24'08"
C56	47.60	480.50	23.62	5'40'33"
C57	52.98	519.50	21.50	4'44'23"
C58	70.12	819.50	35.08	4'54'09"
C59	47.31	780.50	23.66	3'28'24"
C60	70.06	819.50	35.05	4'53'53"
C61	32.46	20.00	21.07	92'58'38"
C62	70.06	819.50	35.05	4'53'53"
C63	29.81	780.50	12.91	1'53'41"
C64	88.4	819.50	39.92	1'23'13"
C65	60.43	819.50	30.23	4'13'28"
C66	57.55	780.50	28.79	4'13'28"
C67	31.42	20.00	20.00	90'00'00"
C68	24.17	480.50	12.09	2'52'58"
C69	63.13	819.50	31.58	4'24'49"
C70	10.80	819.50	5.40	0'45'18"
C71	15.92	30.00	8.15	30'24'08"
C72	18.87	50.00	9.55	21'37'06"
C73	20.16	50.00	10.22	23'06'04"
C74	48.13	50.00	26.12	55'09'27"
C75	20.31	50.00	10.50	23'18'27"
C76	19.43	819.50	9.72	1'47'49"
C77	70.41	819.50	35.24	6'30'42"
C78	25.70	819.50	12.85	2'22'38"
C79	48.94	580.50	24.48	4'49'48"
C80	59.32	580.50	29.69	5'51'19"
C81	43.98	28.00	28.00	90'00'00"
C82	42.83	27.00	27.42	90'53'21"
C83	12.13	50.00	6.10	13'54'08"
C84	12.35	50.00	6.21	14'09'07"
C85	28.32	150.00	14.20	10'49'05"
C86	28.13	150.00	14.11	10'44'39"
C87	20.25	380.50	10.13	3'02'57"
C88	10.48	419.50	5.24	1'28'55"
C89	28.01	380.50	14.01	4'13'03"
C90	50.84	419.50	25.45	6'56'39"
C91	63.82	469.50	31.96	7'47'16"
C92	29.83	430.50	14.92	3'58'11"
C93	68.15	469.50	34.14	8'19'02"
C94	80.12	430.50	40.18	10'38'49"
C95	53.86	430.50	26.96	7'10'04"
C96	29.80	20.00	18.45	85'22'17"
C97	33.19	20.00	21.86	95'04'31"
C98	16.83	505.50	8.42	1'54'28"
C99	106.42	466.50	53.45	13'04'19"
C100	70.30	505.50	35.21	7'58'05"
C101	70.16	505.50	35.14	7'57'10"
C102	12.57	8.00	8.00	90'00'00"
C103	12.57	8.00	8.00	90'00'00"
C104	21.81	50.00	11.08	24'59'14"

CONSTRUCTION NOTE:
1 "L" CURB PER STD. DWG. #116
2 30" ROLL CURB PER STD. DWG. #117A
3 VALLEY CUTTER PER STD. DWG. #228
4 "A" CURB PER STD. DWG. #119

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT.

DANIEL J. HODD P.E. NO. 12811 DATE 9.22.03

PERMA-BILT HOMES
CITY OF LAS VEGAS, NEVADA
7150 POLLOCK DRIVE, SUITE 104
LAS VEGAS, NEVADA 89119
(702) 898-9100

GRADING PLAN
ELKHORN / GRAND CANYON UNIT 2

DRAWN BY: 05/09/02
DESIGNED BY: 05/01/02
CHECKED BY: 05/15/02
PROJECT NO: 12811
SCALE: 1"=40' HORIZ.
NONE VERT.

EXPIRES 06-30-05
PROFESSIONAL ENGINEER STATE OF NEVADA
DANIEL J. HODD
NO. 12811
SHEET 8 OF 25 SHEETS
DRAWING NO. 10744736-2

REVISION
DATE BY
1 09/23/02 RDM MAKE ONE LOT FROM LOTS 61-62/1
2 05/22/03 MG REV SEVERANCE LANE PER EX NORTH 1/2 STREET
3 09/22/03 MG REV SECT. FROM "G" TO "B" FOR LOTS 78 TO 80
4 12/11/03 VZ 100' WIDE SIDEWALK ON LOTS 81-82/1 TO MATCH LOT 78
5 09/11/04 RDM Revised notes to call for Knownable Building
6 04/26/04 RDM Added Easement Access to Notes
7 04/26/04 RDM 100' WIDE SIDEWALK ON LOTS 81-82/1 TO MATCH LOT 78