

IMPROVEMENT PLANS
FOR
DAY DAWN VIII
(APN #138-07-301-006)

SHEET INDEX

- 1 C1 COVER SHEET
- 2 C2 GENERAL NOTES
- 3 C3 HORIZONTAL CONTROL PLAN
- 4 C4 UTILITY PLAN
- 5 C5 GRADING PLAN
- 6 P1 PLAN & PROFILE- SWEDEN ST.
- 7 P2 PLAN & PROFILE- MALMO AVE.
- 8 P3 PLAN & PROFILE- FALKENBERG ST. & UPPSALLA AVE.
- 9 D1 DETAIL SHEET
- 10 T1 TRAFFIC PLAN

APPROVALS

APPROVAL OF THESE PLANS IS LIMITED TO THOSE IMPROVEMENTS CONSTRUCTED IN THE DEDICATED RIGHTS-OF-WAY AND/OR DEDICATED EASEMENTS. THIS APPROVAL DOES NOT AUTHORIZE THE CONSTRUCTION OF ANY IMPROVEMENTS THAT DEVIATE FROM ADOPTED STANDARDS AND/OR SPECIFICATIONS EXCEPT THOSE SPECIFICALLY LISTED UNDER "DEVIATIONS FROM STANDARDS". THE ENGINEER SHALL RESOLVE ANY DEVIATION OTHER THAN THOSE LISTED IN "DEVIATIONS FROM STANDARDS" IN FAVOR OF THE UNIFORM STANDARDS DRAWINGS AND SPECIFICATIONS CLARK COUNTY AREA NEVADA.

Charles Kalkowski, Jr. 7/15/02
CHARLES KALKOWSKI, JR. P.E. #4748 DATE
CITY ENGINEER

John Koswan 7/11/02
JOHN KOSWAN, CURRENT PLANNING MANAGER DATE
This plan meets the applicable standards of Planning and Development Department

[Signature] 6/28/02
CITY OF LAS VEGAS FIRE DEPARTMENT DATE

[Signature] 6/17/02
SOUTHWEST GAS CORPORATION DATE

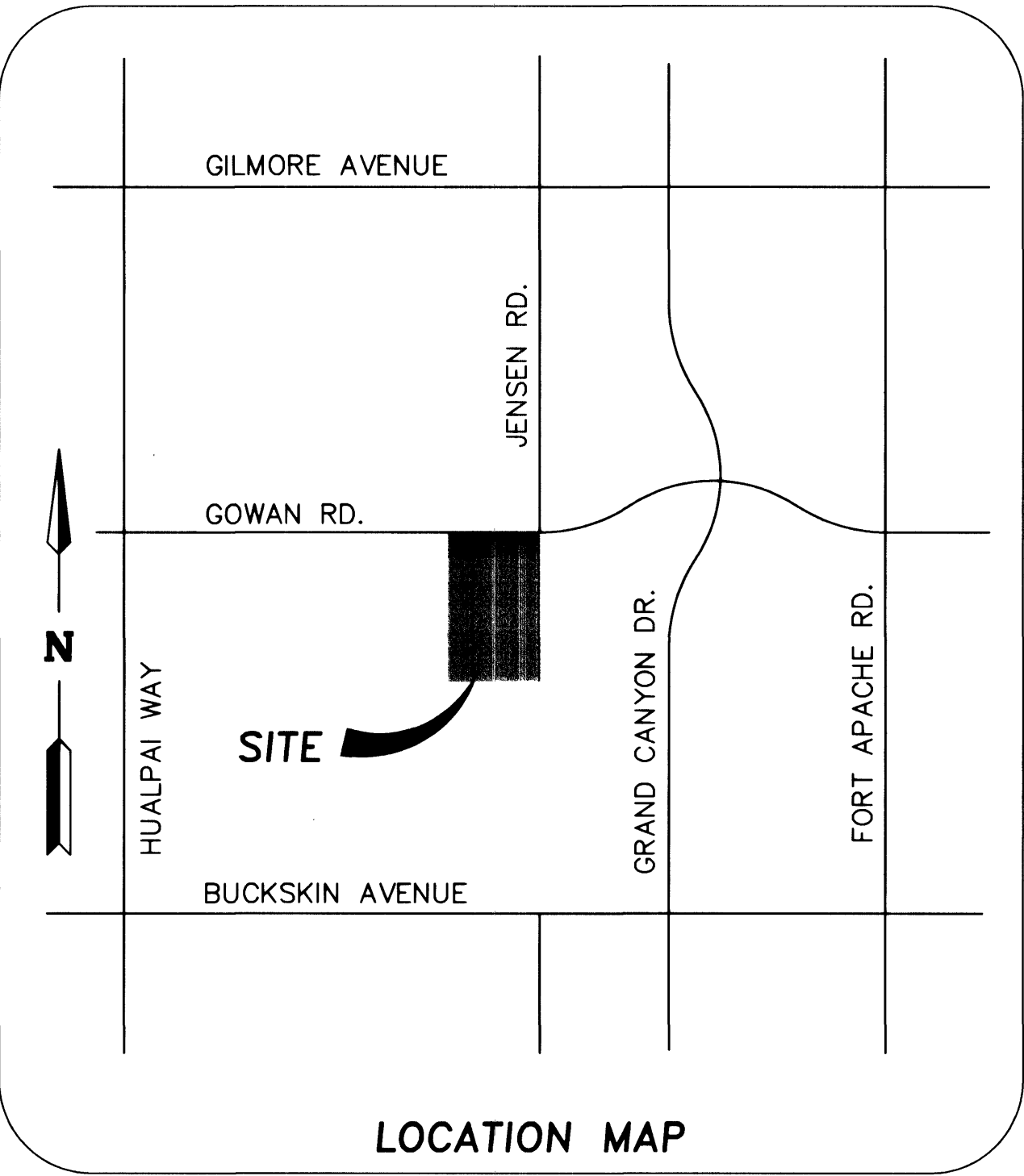
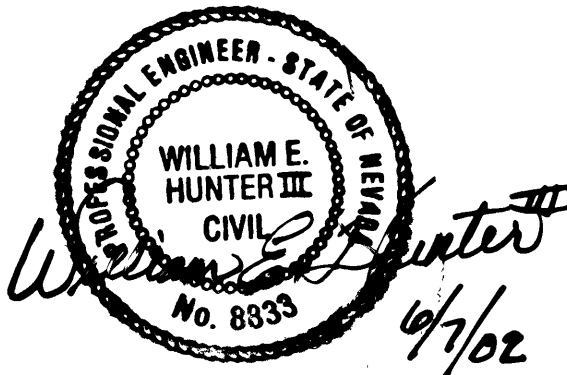
LAS VEGAS VALLEY WATER DISTRICT DATE

Stephen J. Gremeling 6/18/02
NEVADA POWER COMPANY DATE

NEVADA POWER COMPANY ACKNOWLEDGES THAT WE HAVE RECEIVED YOUR PLANS AND WILL PROVIDE SERVICE TO ALL ELECTRICAL NEEDS TO THIS PROJECT. NEVADA POWER COMPANY RESERVES THE RIGHT TO ADDRESS ANY EXISTING OR FUTURE CONFLICTS ONCE THE FINAL DESIGN IS COMPLETED. THE NEW SERVICE AND THE RESOLUTION OF ANY CONFLICTS WILL BE ACCOMPLISHED PURSUANT TO THE NEVADA PUBLIC UTILITY COMMISSION'S RULES AND REGULATIONS.

[Signature] 6-7-02
SPRINT DATE

THE AFFIXED SPRINT NEVADA APPROVAL DOES NOT ASSUME OR GUARANTEE FOR KNOWN OR UNKNOWN CONFLICTS WITH EXISTING OR PROPOSED IMPROVEMENTS. RESOLUTION OF ANY CONFLICT WILL BE ACCOMPLISHED PURSUANT TO LOCAL ORDINANCES, NEVADA REVISED STATUTES AND/OR PUBLIC UTILITY COMMISSION RULES AND REGULATIONS



OWNER

NEVADA HOMES GROUP
6985 W. SAHARA AVE. SUITE 201
LAS VEGAS, NEVADA 89117
TELEPHONE (702) 220-6200
CONTACT: PAUL WAGNER

BASIS OF BEARINGS

SOUTH 00°32'19" EAST, BEING THE EAST LINE OF THE SOUTHEAST QUARTER (SE 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 7, TOWNSHIP 20 SOUTH, RANGE 60 EAST, M.D.M. CLARK COUNTY NEVADA. AS SHOWN ON THE MAP THEREOF IN FILE 110 OF SURVEYS, PAGE 98 OFFICIAL RECORDS, CLARK COUNTY NEVADA.

BENCHMARK

CLARK COUNTY BENCHMARK #1C007NEE6
RIVET AND SQUARE ALUM. PLATE IN A CONCRETE MONUMENT,
35 FEET SOUTH AND 50 FEET WEST OF FORT APACHE ROAD
AND GILMORE AVENUE.
ELEV. = 2536.85 (US SURVEY FEET)

AVOID CUTTING UNDERGROUND UTILITY LINES. IT'S COSTLY.
Call before you Dig—
1-800-227-2600
UNDERGROUND SERVICE ALERT (U.S.A.)

AVOID OVERHEAD POWER LINE CONTACT
Call before you OVERHEAD
1-702-593-6111
NEVADA POWER ENVIRONMENT AND SAFETY SERVICES DEPARTMENT

NEVADA HOMES GROUP
DAY DAWN VIII
COVER SHEET

SHEET
C1
SHEET NO. 1
OF 10 SHEETS

107Y-4710-8