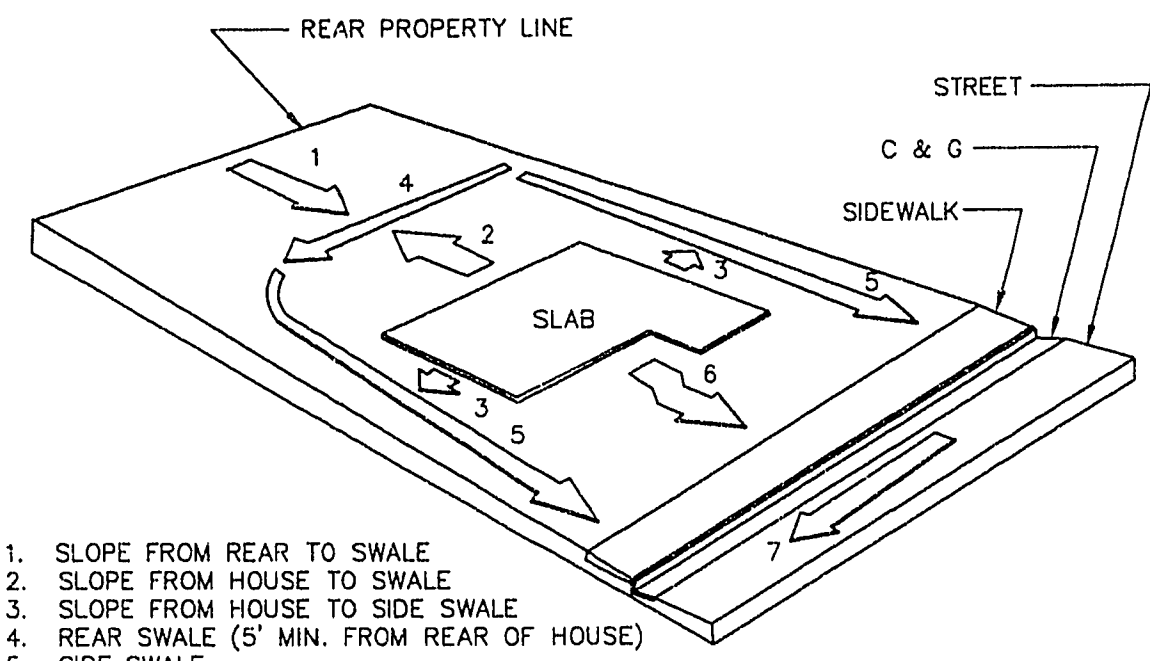
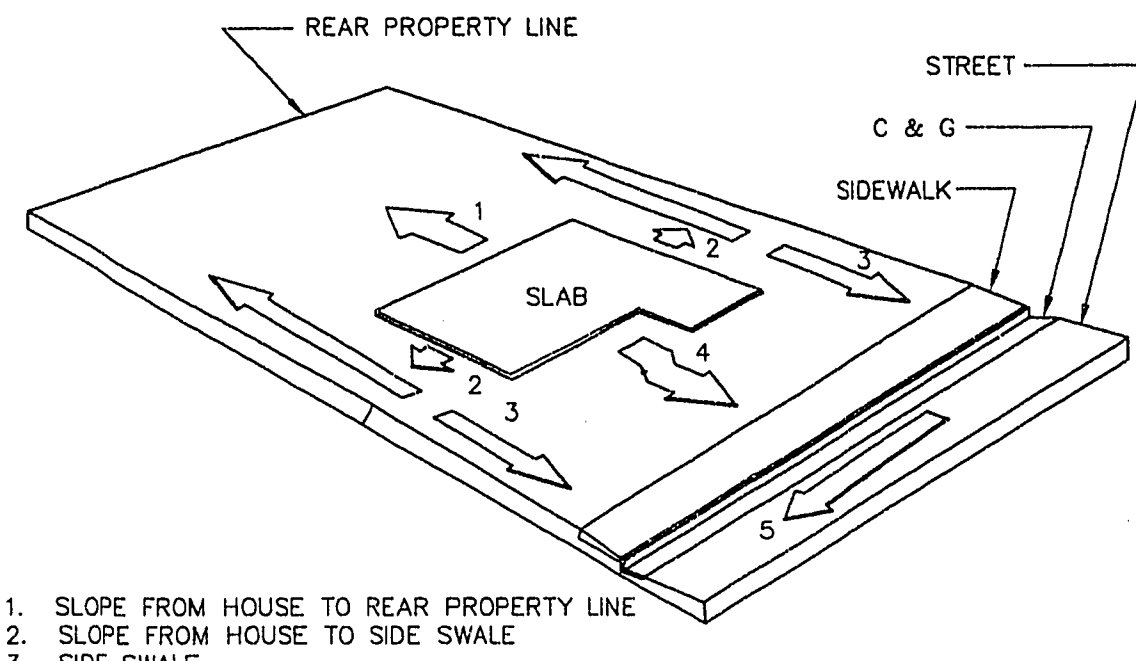




1. SLOPE FROM REAR TO SWALE
2. SLOPE FROM HOUSE TO SWALE
3. SLOPE FROM HOUSE TO SIDE SWALE
4. REAR SWALE (5' MIN. FROM REAR OF HOUSE)
5. SIDE SWALE
6. SLOPE FROM HOUSE TO SIDEWALK
7. SLOPE OF STREET

1 TYPICAL LOT GRADING - TYPE "A"
SCALE: N.T.S.

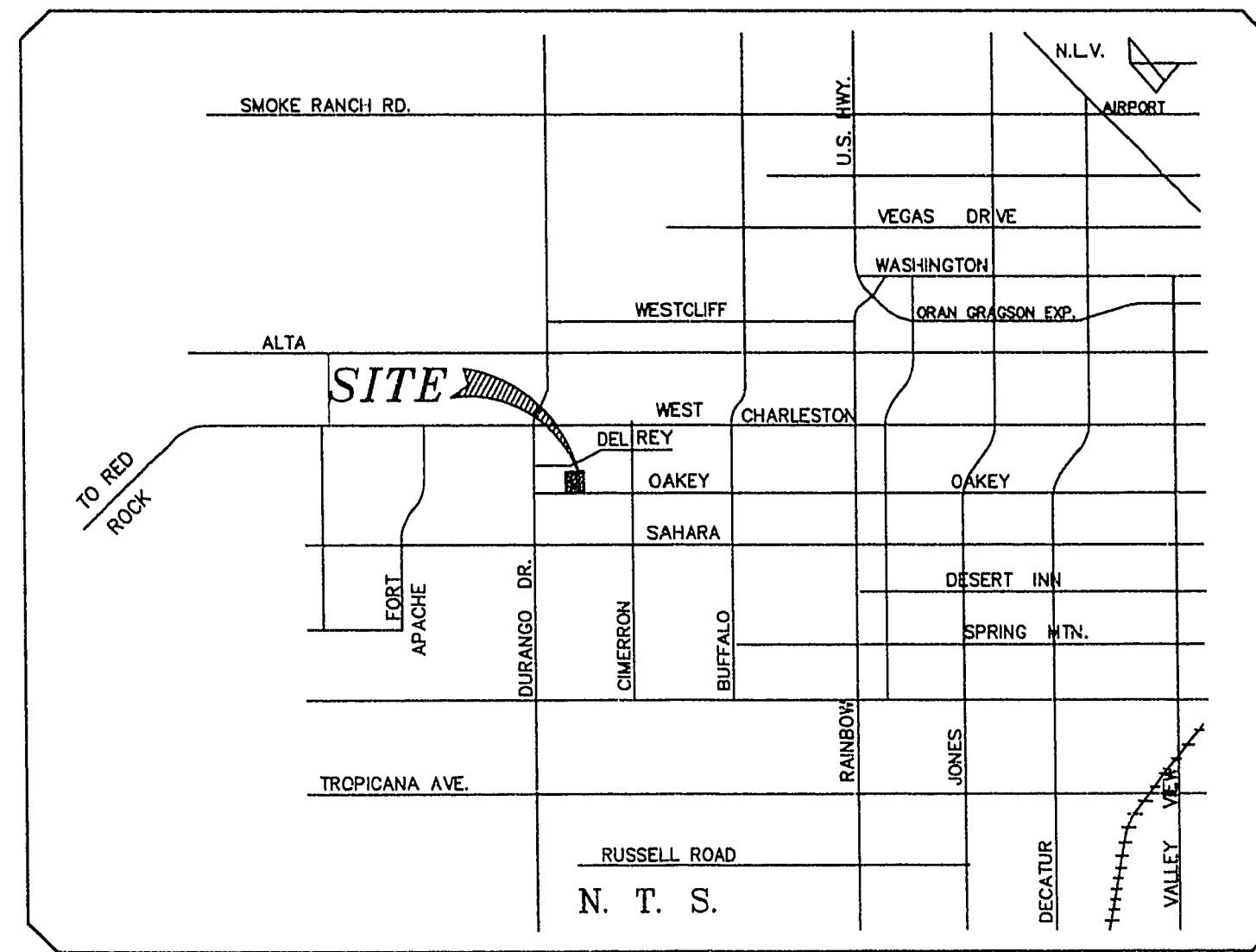


1. SLOPE FROM HOUSE TO REAR PROPERTY LINE
2. SLOPE FROM HOUSE TO SIDE SWALE
3. SIDE SWALE
4. SLOPE FROM HOUSE TO SIDEWALK
5. SLOPE OF STREET

2 TYPICAL LOT GRADING - TYPE "B"
SCALE: N.T.S.

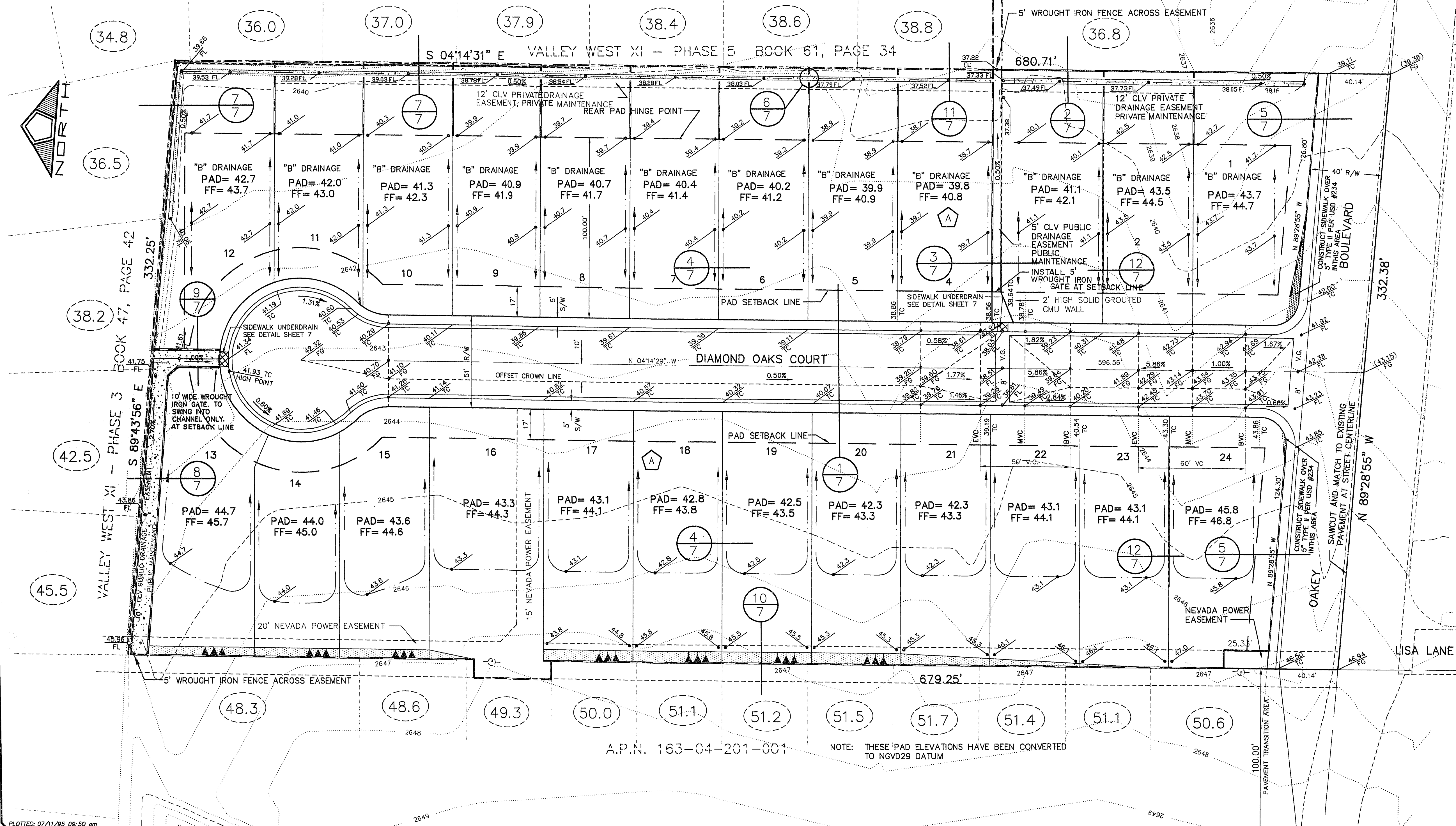
GRADING NOTES

1. THE GRADING PLANS ARE TO BE AT THE PROJECT SITE THROUGHOUT THE COURSE OF CONSTRUCTION.
2. ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE LINES, GRADES AND DETAILS AS SHOWN ON THESE PLANS. ANY DEVIATION FROM THESE PLANS WILL ONLY BE PERMITTED UPON WRITTEN APPROVAL FROM THE CITY ENGINEER.
3. ALL PADS ARE TO BE GRADED TO THE ELEVATIONS AS SHOWN ON THE PLANS. GRADING IS NOT COMPLETE UNTIL THE ENGINEER HAS CERTIFIED THAT THE PADS HAVE BEEN GRADED IN SUBSTANTIAL CONFORMANCE TO THE PLANS.
4. ROUGH GRADING FOR ROADWAY SUBGRADE ASSUMES THAT TYPE 1 GRAVEL BASE WILL NOT BE NECESSARY. THE OWNER AGREES THAT IF THE EXISTING NATIVE MATERIAL DOES NOT SATISFY THE SPECIFICATIONS FOR TYPE 1 BASE, THE OWNER WILL IMPORT AND PLACE TYPE 1 BASE AS NECESSARY FOR ROADWAY CONSTRUCTION. IN THIS EVENT, THE CONTRACTOR SHALL ADJUST THE ROUGH GRADING FOR ROADWAY SUBGRADE TO ACCOMMODATE THE ADDITIONAL DEPTH OF THE TYPE 1.
5. ALL GRADING SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING REPORT PREPARED BY:
S.E.A. ENGINEERS, INC.
1100 ORIER DR., LAS VEGAS, NEV.
DATED MAY 28, 1993 AND ALL SUBSEQUENT ADDENDUMS
6. QUANTITIES SHOWN ARE ESTIMATES ONLY AND ARE INTENDED TO ILLUSTRATE SCOPE OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT QUANTITIES INVOLVED.
7. EARTHWORK QUANTITIES DO NOT REFLECT LOSSES DUE TO SHRINKAGE OR SUBSIDENCE.
8. EARTHWORK QUANTITIES DO NOT REFLECT ADDITIONAL GRADING WHICH MAY BE REQUIRED BY THE ENGINEER TO CONSTRUCT PROTECTIVE BERMS OR DITCHES NOT SHOWN ON PLANS.
9. EARTHWORK QUANTITIES DO REPRESENT ROUGH GRADES CONFORMING TO ALL LINES, GRADES AND DETAILS AS SHOWN ON THE PLANS.
10. EXCESS MATERIAL, IF ANY, MAY BE DISPOSED OF AT ANY OFFSITE LOCATION AS CHOSEN BY THE CONTRACTOR.
11. THE CONTRACTOR'S BID SHALL INCLUDE THE COST TO DISPOSE OF AND/OR HAUL ANY EXCESS MATERIAL.
12. QUANTITIES DO NOT REFLECT THE USE OF TYPE 1 BASE FOR ROADWAY CONSTRUCTION.



VICINITY MAP

"I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT"



WALL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT PERTAIN TO CONSTRUCTION OF NEW WALLS (RETAINING OR NON-RETAINING) OR MODIFICATIONS TO EXISTING WALLS.
2. ALL WALLS, NEW OR EXISTING, ARE REVIEWED BY THE CITY ENGINEER FOR GRADING RELATIONSHIPS ONLY.
3. ALL WALLS, RETAINING OR NON-RETAINING, MUST BE APPROVED WITH A PERMIT OBTAINED FROM THE DEPARTMENT OF BUILDING AND SAFETY.

LEGEND

- SUBDIVISION BOUNDARY
- EASEMENT LINE
- STREET CENTERLINE
- CONCRETE CURB & GUTTER
- EXISTING IMPROVEMENTS
- EXISTING GROUND CONTOUR LINE
- DRAINAGE FLOW LINE
- BLOCK WALL
- EXISTING BLOCK WALL
- RETAINING WALL

- 1 LOT NUMBER
- 1 BLOCK NUMBER
- BCR BACK OF CURB RETURN
- EX. EXISTING
- FL FLOW LINE
- HP HIGH POINT
- R/W RIGHT-OF-WAY
- TC TOP OF CURB

PENTACORE Engineering, Inc. 6763 West Charleston Boulevard Las Vegas, Nevada 89102 (702) 258-0115		PINNACLE HOMES ESTATES AT PEBBLE RIVER GRADING PLAN	
DATE: 5/2/94	DRAWN BY: FC	DESIGNED BY: FC	CHECKED BY: 155.0004
JOB NO.: 155.0004		SCALE: 1" = 30'	
SHEET 6		OF 7	