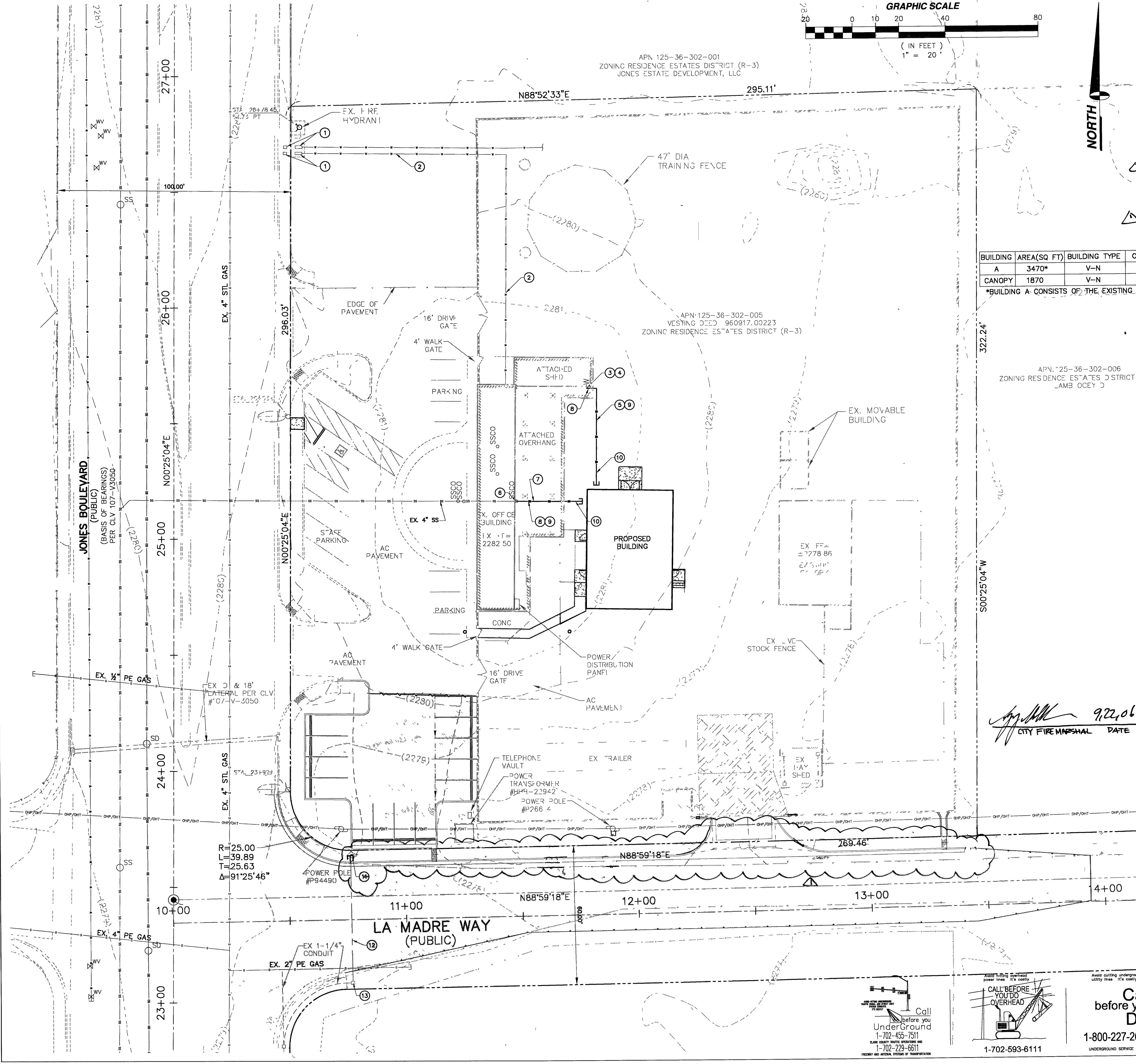




UTILITY CONSTRUCTION NOTES

- 1 EXISTING LVVWD 3/4" METER AND 3/4" RPPA
- 2 APPROXIMATE LOCATION OF EXISTING UNDERGROUND DOMESTIC WATER LINE
- 3 CONNECT TO EXISTING DOMESTIC WATER LINE
- 4 INSTALL 1 1/2" x 1" REDUCER
- 5 INSTALL 1" PVC WATER LINE (41 LF)
- 6 CONNECT TO EXISTING 4" SEWER LINE AT EX. SEWER CLEAN OUT LOCATION
- 7 INSTALL 4" PVC SEWER LINE AT 1.0% SLOPE (28.5 LF)
- 8 SAWCUT, REMOVE, AND REPLACE EX. CONCRETE AND/OR ASPHALT PAVEMENT AS REQUIRED
- 9 TRENCH SECTION PER UDACS PLATE NO. 6C (PAVED AND UNPAVED AREAS)
- 10 PROPOSED UTILITY LINE LINE STUBBED APPROXIMATELY 2' FROM BUILDING (SEE MECHANICAL DRAWINGS FOR CONTINUATION)
- 11 INSTALL #3-1/2" PULL BOX
- 12 INSTALL 1 1/2" CONDUIT WITH 2 #4 AND 1 #8 THW WIRE (TYP)
- 13 INTERCEPT EXISTING STREET LIGHT CIRCUIT. INSTALL #3-1/2" PULL BOX. PULL CONDUCTORS TO EXISTING PULLBOX
- 14 STUB & CAP
- 15 INSTALL 150 WATT THB STREETLIGHT AND FOUNDATION PER USD NO. 214 & 321, RESPECTIVELY

FIRE FLOW DATA

ALL BUILDINGS ARE SINGLE STORY							
BUILDING	AREA(SQ FT)	BUILDING TYPE	OCCUPANCY	BUILDING HEIGHT(FT)	FIRE FLOW(GPM)*	SPRINKLERS	ADJUSTED FIRE FLOW(GPM)
A	3470*	V-N	B	29.0	1,500	NO	1500
CANOPY	1870	V-N	U	25.0	1,500	NO	1500

*BUILDING A CONSISTS OF THE EXISTING AND PROPOSED BUILDING SQUARE FOOTAGE DUE TO PROXIMITY OF THE TWO BUILDINGS.

LEGAL DESCRIPTION

THAT CERTAIN PARCEL OF LAND AS DESCRIBED IN A GRANT, BARGAIN, SALE DEED RECORDED SEPTEMBER 17, 1996 IN BOOK 960617 AS INSTRUMENT NO. 00223 IN THE CLARK COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA; LYING WITHIN NORTHWEST QUARTER (NW1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION 36, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CLARK COUNTY, NEVADA.

EXCEPTING THEREFROM THE WEST 20.00 FEET AND A TRIANGULAR PARCEL OF LAND AS CONVEYED TO THE CITY OF LAS VEGAS BY GRANT DEED RECORDED JULY 28, 1971 IN BOOK 147 AS DOCUMENT NO. 117240, OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF LAS VEGAS BY GRANT DEED RECORDED JULY 11, 1997 IN BOOK 970711 AS DOCUMENT NO. 00665, OF OFFICIAL RECORDS.

BASIS OF BEARINGS

NORTH 00°25'04" EAST, BEING THE WEST LINE OF SECTION 36, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M. AS SHOWN BY MAP THEREOF ON FILE IN FILE 11 OF SURVEYS, PAGE 39 IN THE COUNTY RECORDER'S OFFICE, CLARK COUNTY, NEVADA.

BENCHMARK

CITY OF LAS VEGAS VERTICAL CONTROL NO. 8LV90 36SW6
A RIVET AND PLATE SET IN THE TOP OF CURB AT THE NORTHEAST CORNER OF LA MADRE WAY AND LEON AVE.

ELEVATION: 2268.78 (FEET) NAVD88
691.5265 (METERS) NAVD88

WATER/SEWER CROSSING NOTE

ALL SEWER/STORM DRAINS CROSSING WATER LINES MUST CONFORM TO SECTION 2.19 OF THE UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR POTABLE WATER SYSTEMS (UDACS) FOR WATER AND STORM MAIN CROSSINGS AND CLEARANCES.

WATER NOTE

- 1. WATER FACILITIES SHALL BE CONSTRUCTED, TESTED AND DISINFECTED PER THE REQUIREMENTS OF THE "UNIFORM DESIGN AND CONSTRUCTION STANDARDS FOR WATER DISTRIBUTION SYSTEMS" (UDACS), LATEST EDITION.
- 2. INSTALL THRUST BLOCKS & ANCHOR BLOCKS AS REQUIRED BY UDACS SECTION 2.11 AND PER STANDARD PLATE NO. 5. NO SEPARATE PAYMENT SHALL BE PAID.
- 3. NO SEPARATE PAYMENT SHALL BE MADE FOR TEES, BENDS, REDUCERS OR OTHER FITTINGS.

TRENCH NOTE

TRENCH SECTION PER STD. PLATE 6A & 6B UDACS. AC/CONCRETE AND TYPE II WITHIN UPPER 24" MUST MATCH EXISTING SECTION.

SEWER FLOW

AVERAGE DAILY FLOW: 0.002025 MGD (2025 GPD)
PEAKING FACTOR: 4.74
PEAK FLOWS: 0.009594 MGD (9594 GPD)

BASED ON FIXTURE CALCULATIONS FOR 2 WATER CLOSETS, 3 LAVATORIES, 8 SINKS, 4 FLOOR DRAINS, & 1 SHOWER.

NOTICE TO CONTRACTORS

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. LOCATIONS OF UTILITIES, LINES, AND STRUCTURES HAVE BEEN DETERMINED BY SURFACE INDICATIONS AND THE BEST INFORMATION AVAILABLE FROM UTILITY COMPANIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO INVESTIGATE AND VERIFY THE ACTUAL LOCATION, DEPTH, AND ELEVATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES, LINES, AND FACILITIES AT LEAST 48 HOURS IN ADVANCE OF THE PERFORMANCE OF ANY WORK.

NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREIN. SPECTRUM ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN, UTILITIES NOT SHOWN IN THEIR PROPER LOCATIONS, AND UTILITIES NOT OF RECORD.

THE CONTRACTOR SHALL POTHOLE AND FIELD VERIFY ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION. IF DISCREPANCIES IN UTILITY LOCATIONS ARE DISCOVERED DURING FIELD VERIFICATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMMEDIATELY NOTIFY SPECTRUM.

CALL BEFORE YOU DIG: 1-800-227-2600
CALL BEFORE YOU CRANE: 1-702-227-2929

REVISIONS

REV.	BY	APPR.	DESCRIPTION	DATE
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DEVELOPER

SPECTRUM SURVEYING & ENGINEERING

7351 W. CHARLESTON BLVD., SUITE 120
LAS VEGAS, NEVADA 89107
PHONE: (702) 367-7705
FAX: (702) 367-8733

DESERT PINES EQUINE ADDITION

UTILITY & STREET LIGHTING PLAN

APN# 125-36-302-005

5000 NORTH JONES BOULEVARD
LAS VEGAS, NV 89180

ENGINEER'S SEAL

CITY OF LAS VEGAS
CLARK COUNTY
CIVIL
9/12/06

ENGINEER'S SEAL

CITY PLAN#
COUNTY PLAN#
STATE PLAN#
DATE: 09/12/06
JOB NO: CD06001
DRAWN BY: SDJ
CHECKED BY: RAS
SCALE: 1"=20'