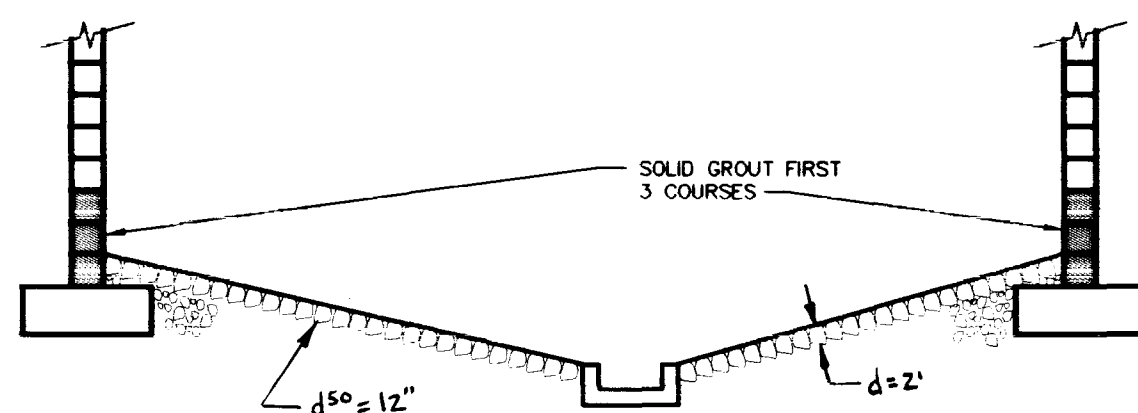
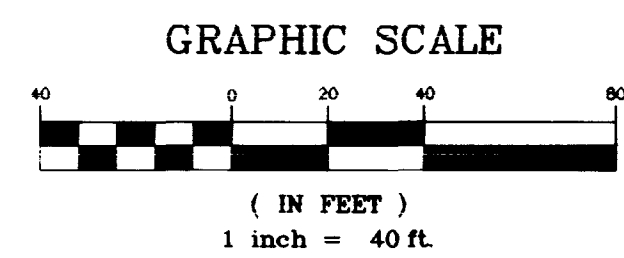


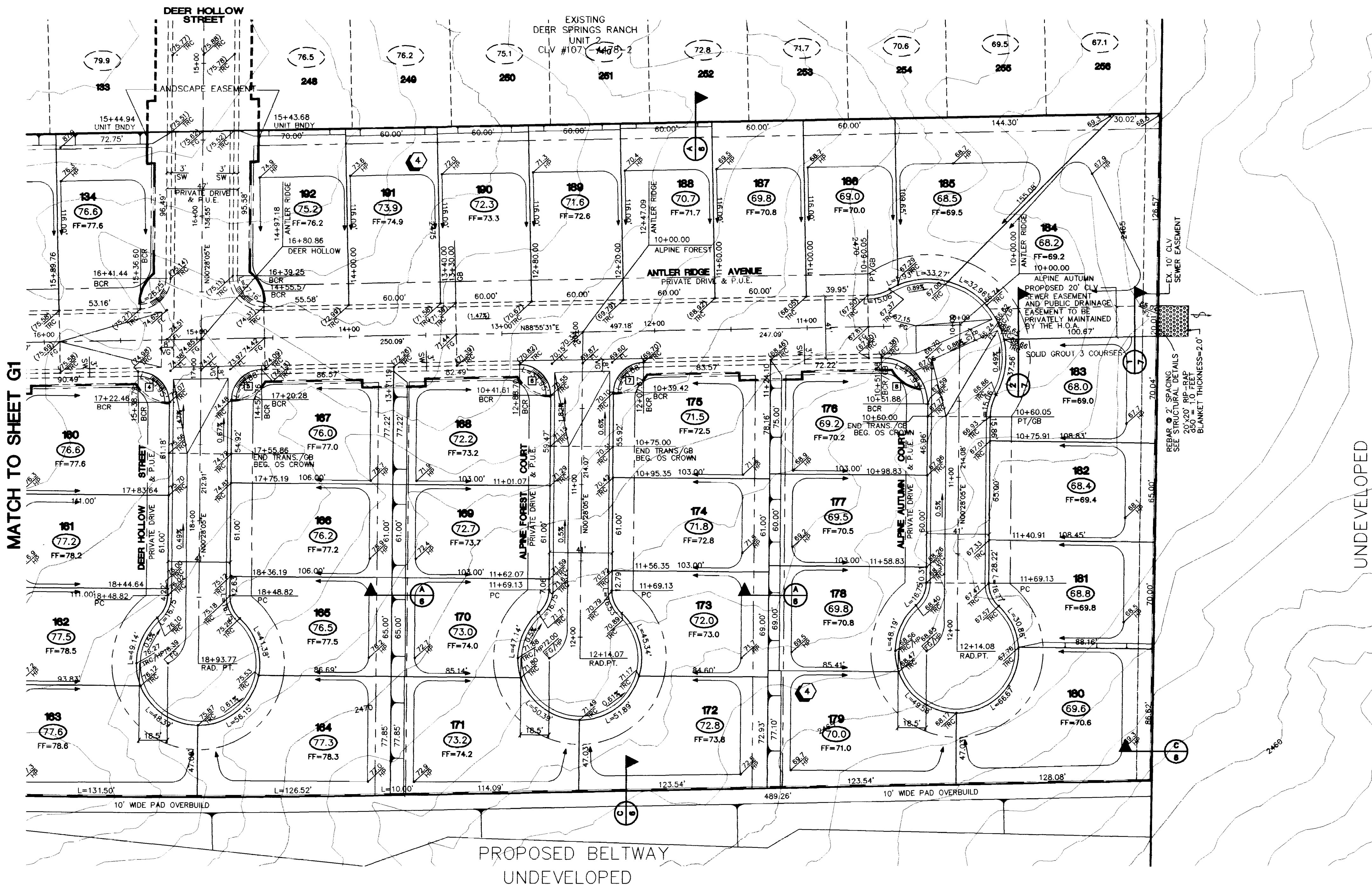
1 DRAINAGE EASEMENT DETAIL  
SEE STRUCTURAL ENGINEER'S PLANS FOR WALL DESIGN.



2 DRAINAGE EASEMENT DETAIL



LOCATION



UNDEVELOPED

**LEGEND**

27	LOT NUMBER	RETAINING WALL
4	BLOCK NUMBER	GB GRADE BREAK
FG	FINISH GRADE	42.1 PAD GRADE
FL	FLOW LINE	PC POINT OF CURVATURE
TC	TOP OF CURB	PT POINT OF TANGENCY
TRC	TOP OF ROLL CURB	PRC POINT OF REVERSE CURVATURE
BC	BACK OF CURB	PCC POINT OF COMPOUND CURVATURE
BCR	BEGIN CURB RETURN	0.5% DIRECTION AND RATE OF SLOPE
EX	EXISTING	BVC BEGIN VERTICAL CURVE
VG	VALLEY GUTTER	MVC MID-POINT OF VERTICAL CURVE
TF	TOP OF FOOTING	EVC END VERTICAL CURVE
Handicap Ramp	HANDICAP RAMP	PRVC POINT OF REVERSE VERTICAL CURVE
		EXISTING WALL

**GENERAL NOTES**

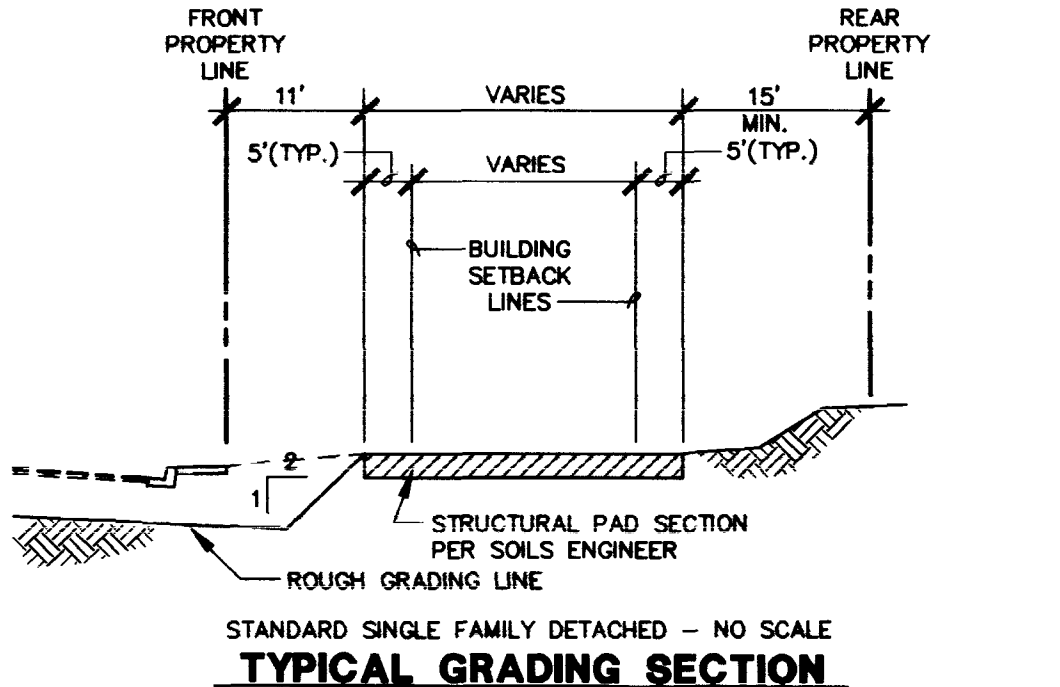
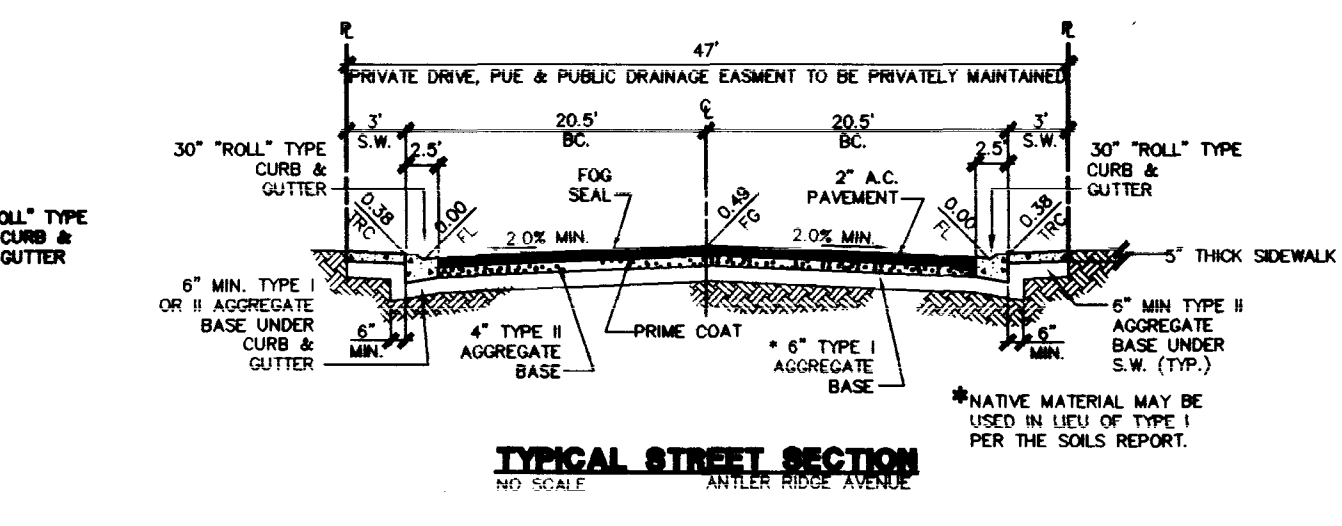
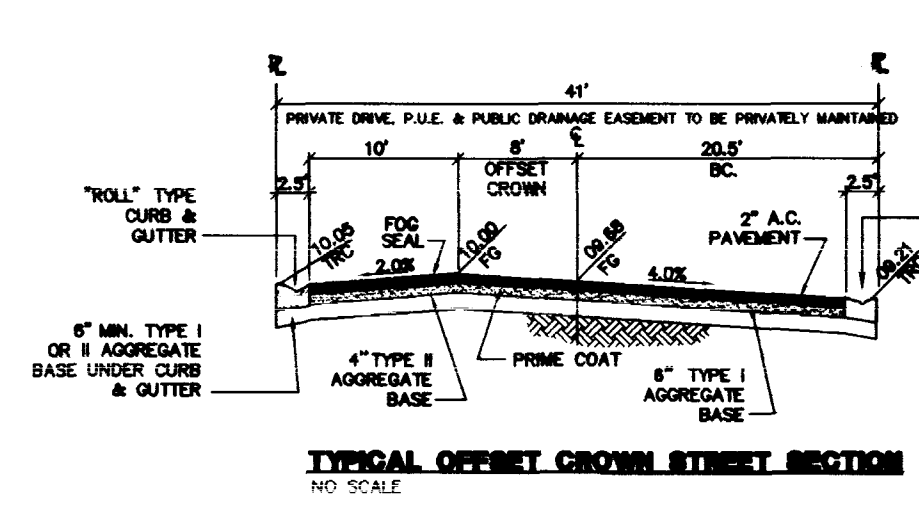
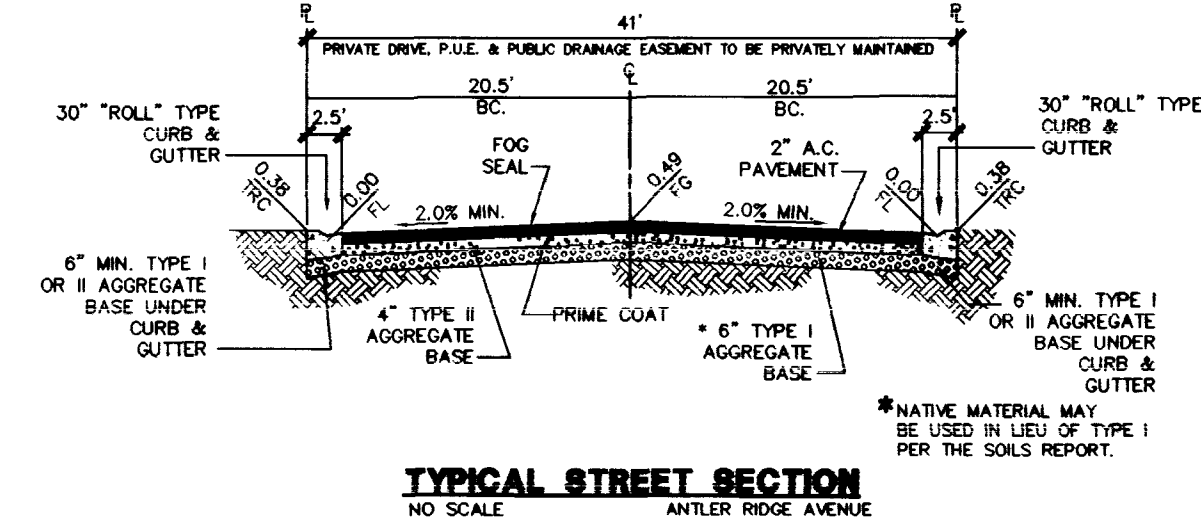
- ALL GRADES SHOWN HEREON ARE TO ROUGH GRADE ONLY AND ARE 0.30 FEET LOW TO ALLOW FOR LANDSCAPING EXCEPT T.C., F.L., F.G. AND FF WHICH ARE TO FINISH GRADES.
  - ALL LOTS ARE TO BE F.H.A. TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
  - SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
  - THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
  - CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
  - ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE "PRELIMINARY GEOTECHNICAL INVESTIGATION".
  - ALL WORK PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAVE BEEN OBTAINED FROM THE OFFSITE OWNER.
  - ALL WORK PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND OUTSIDE OF THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
  - FINISH FLOOR ELEVATION = PAD ELEVATION +1'.
- "I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT"

ENGINEER *Jan J. J. J.* DATE 12/22/98

**BASIS OF BEARINGS**  
SOUTH 88±55'31" WEST, BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 21, T. 19 S., R. 60 E., M.D.M., CLARK COUNTY, NEVADA, COINCIDENT WITH THE CENTERLINE OF CENTENNIAL PARKWAY, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN FILE 81 OF PARCEL MAPS AT PAGE 28.

**BENCHMARK**  
CLARK COUNTY BM # 0C90 - 21NWS  
RIVET AND SQUARE ALUMINUM PLATE IN TOP OF CENTER OF HEAD WALL ON THE WEST SIDE OF HIGHWAY - 95, NEAR MILE MARKER 88.95  
ELEVATION = 764.787 METERS (NAVD'88)  
ELEVATION = 2509.14 U.S. SURVEY FEET (NAVD'88)

Call before you Dig  
1-800-227-2600



AMERICAN WEST HOMES, INC.  
2700 E. SUNSET ROAD, SUITE 5  
89120  
(702)738-6434

GRADING PLAN  
DEER SPRINGS RANCH  
UNIT 3

SHEET	4/98
DESIGNED BY:	K.J.
CHECKED BY:	R.J.
PROJECT NO.:	4894-3
SCALE:	1"=40'
DATE:	12/22/98

SEAL  
1074-4478-3

