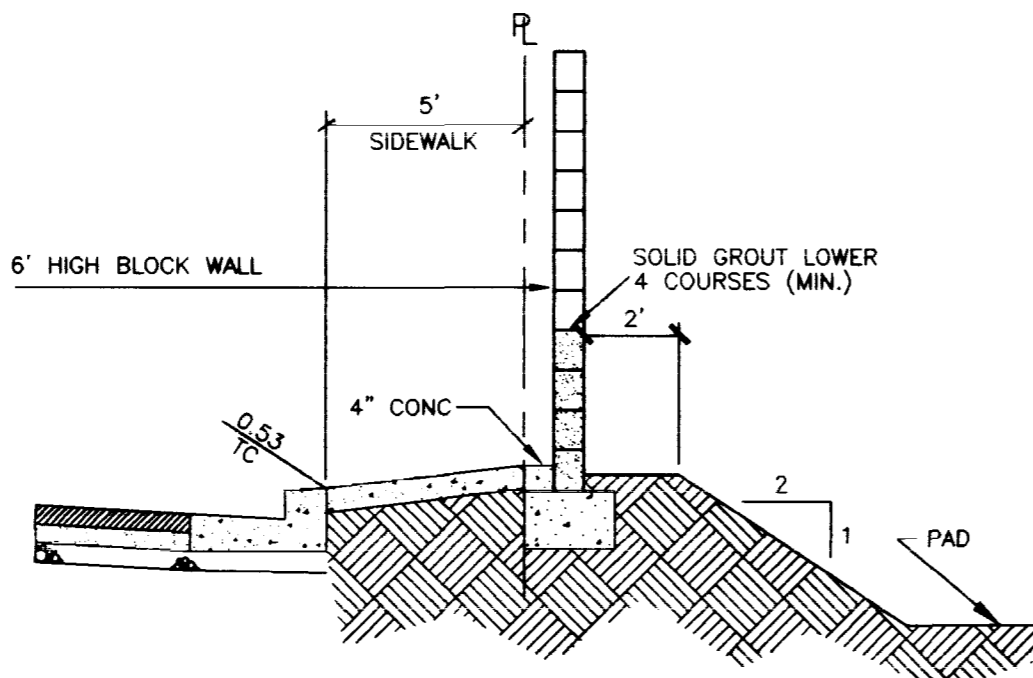
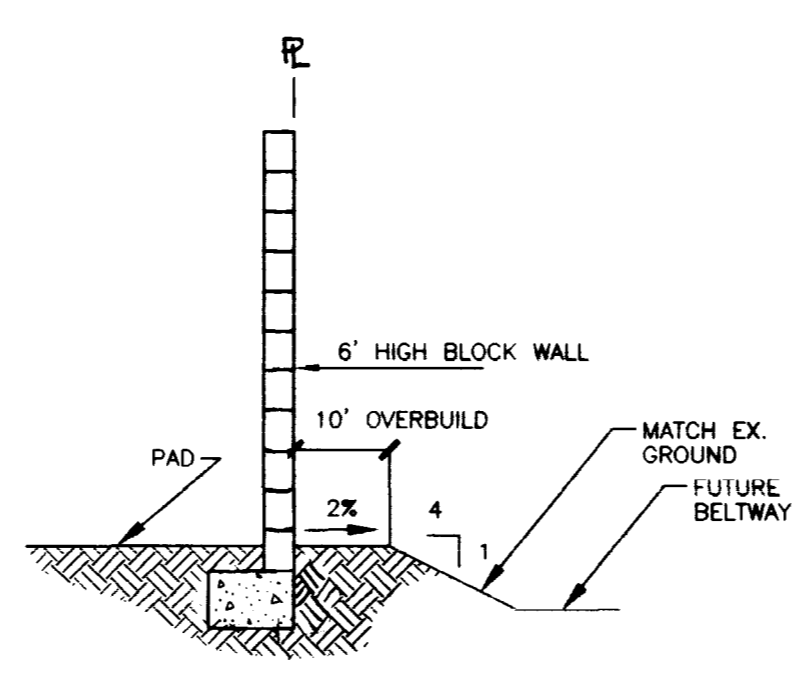


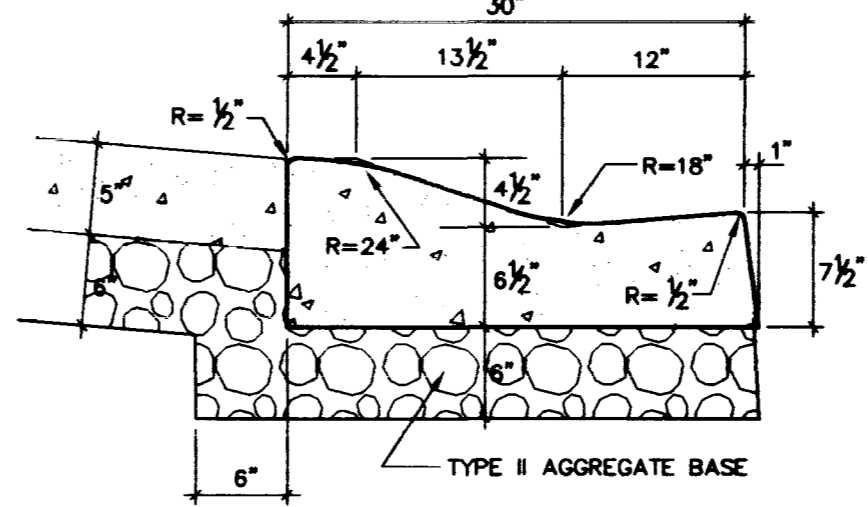
SECTION A  
NO SCALE



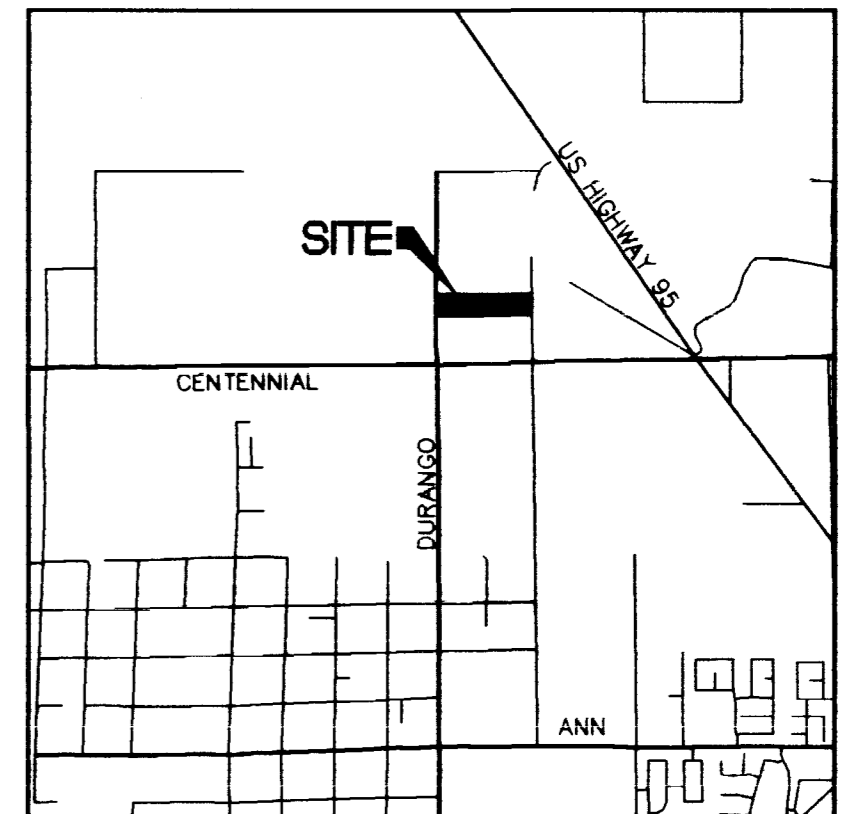
SECTION B  
NO SCALE



SECTION C  
NO SCALE



30' ROLL CURB DETAIL  
DWG. NO. 217-A



LOCATION

**LEGEND**

27	LOT NUMBER	▬	RETAINING WALL
4	BLOCK NUMBER	GB	GRADE BREAK
2400	CONTOUR LINE (1' INTERVAL)	42.1	PAD GRADE
FG	FINISH GRADE	PC	POINT OF CURVATURE
FL	FLOW LINE	PT	POINT OF TANGENCY
TC	TOP OF CURB	PRC	POINT OF REVERSE CURVATURE
TRC	TOP OF ROLL CURB	PCC	POINT OF COMPOUND CURVATURE
BC	BACK OF CURB	0.5%	DIRECTION AND RATE OF SLOPE
BCR	BEGIN CURB RETURN	BVC	BEGIN VERTICAL CURVE
EX	EXISTING	MVC	MID-POINT OF VERTICAL CURVE
VG	VALLEY GUTTER	EVC	END VERTICAL CURVE
PER STD. DWS. #228	SCARP AREA	PRVC	POINT OF REVERSE VERTICAL CURVE
▬	CONCRETE BLOCK WALL	▬	EXISTING WALL
NG	NATURAL GROUND		
TF	TOP OF FOOTING		
▬	HANDICAP RAMP		
LP	LOW POINT		

**GENERAL NOTES**

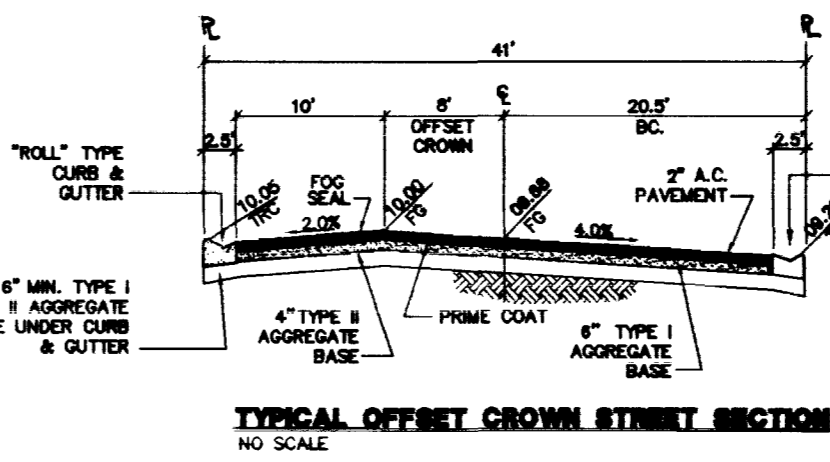
- ALL GRADES SHOWN HEREON ARE TO ROUGH GRADE ONLY AND ARE 0.30 FEET LOW TO ALLOW FOR LANDSCAPING EXCEPT T.C., F.L., F.G. AND FF WHICH ARE TO FINISH GRADES.
- ALL LOTS ARE TO BE F.I.A. TYPE "A" DRAINAGE UNLESS OTHERWISE NOTED.
- SEE IMPROVEMENT PLANS FOR STREET SECTIONS AND DETAILS. SEE FINAL MAP FOR EXACT BEARINGS AND DISTANCES.
- THE QUANTITIES SHOWN HEREON ARE ESTIMATES ONLY AND ARE NOT TO BE USED FOR BIDDING PURPOSES.
- CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- ALL GRADING AND SITE PREPARATION SHALL CONFORM TO THE REQUIREMENTS OF THE GEOTECHNICAL INVESTIGATION PREPARED BY: WESTERN TECHNOLOGIES, # 41247M124 DATED JULY 18, 1994
- ALL WORK PERFORMED OUTSIDE OF THE PROJECT BOUNDARY AND ON PRIVATE PROPERTY SHALL NOT BE PERFORMED UNTIL WRITTEN PERMISSION AND EASEMENT HAVE BEEN OBTAINED FROM THE OFFSITE OWNER.
- ALL WORK PERFORMED WITHIN PUBLIC RIGHT-OF-WAY AND OUTSIDE OF THE PROJECT BOUNDARY SHALL BE PERFORMED UNDER A SEPARATE ENCROACHMENT PERMIT ISSUED BY THE CONTROLLING AUTHORITY.
- FINISH FLOOR ELEVATION = PAD ELEVATION +1'.

"I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT"

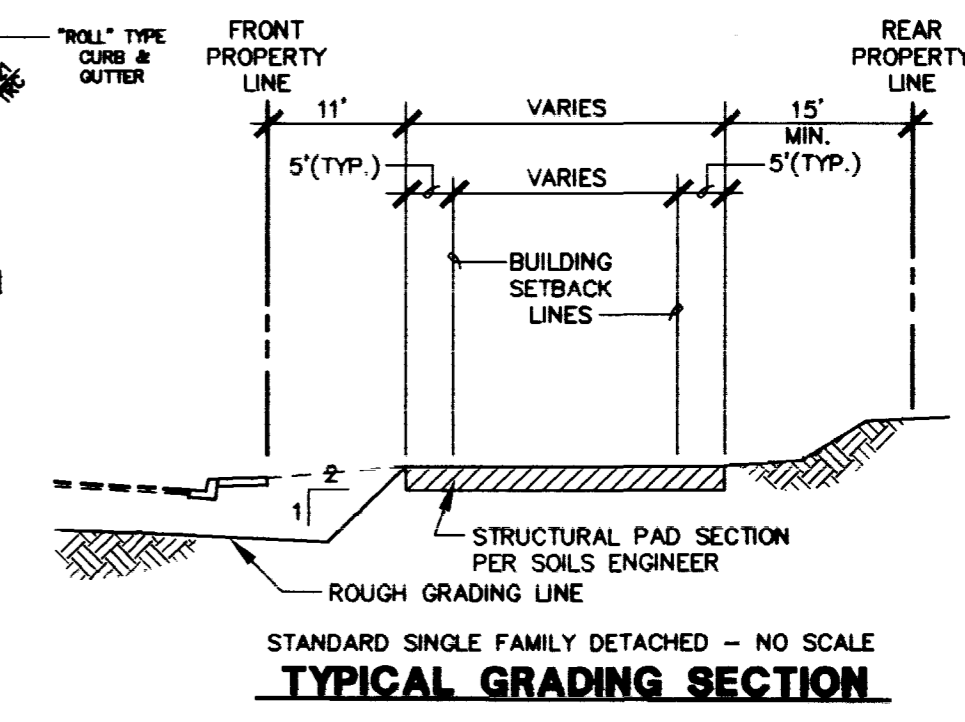
ENGINEER: [Signature] DATE: 12/22/98



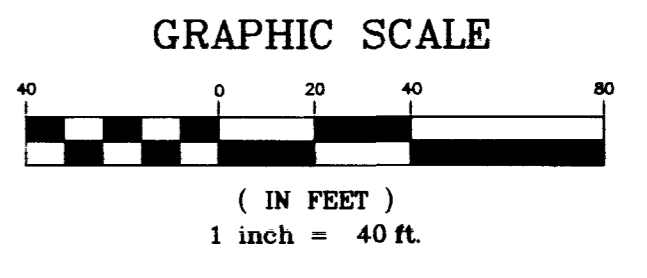
MATCH TO SHEET G2



TYPICAL OFFSET CROWN STREET SECTION  
NO SCALE



TYPICAL GRADING SECTION



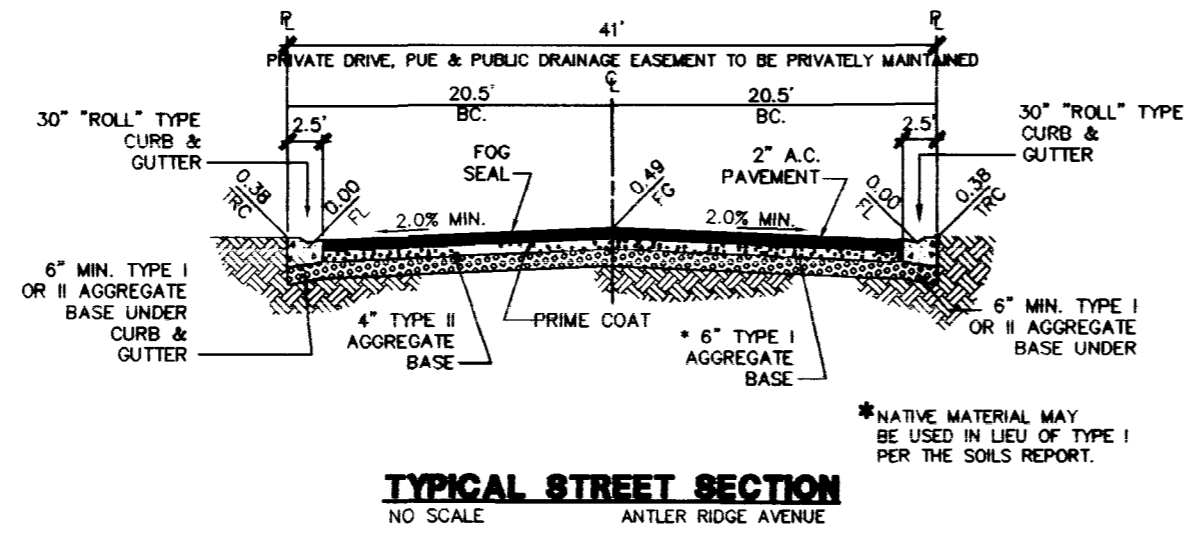
**BASIS OF BEARINGS**

SOUTH 88°55'31" WEST, BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 21, T. 19 S., R. 60 E., M.D.M., CLARK COUNTY, NEVADA, COINCIDENT WITH THE CENTERLINE OF CENTENNIAL PARKWAY, AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE COUNTY RECORDER IN FILE 81 OF PARCEL MAPS AT PAGE 28.

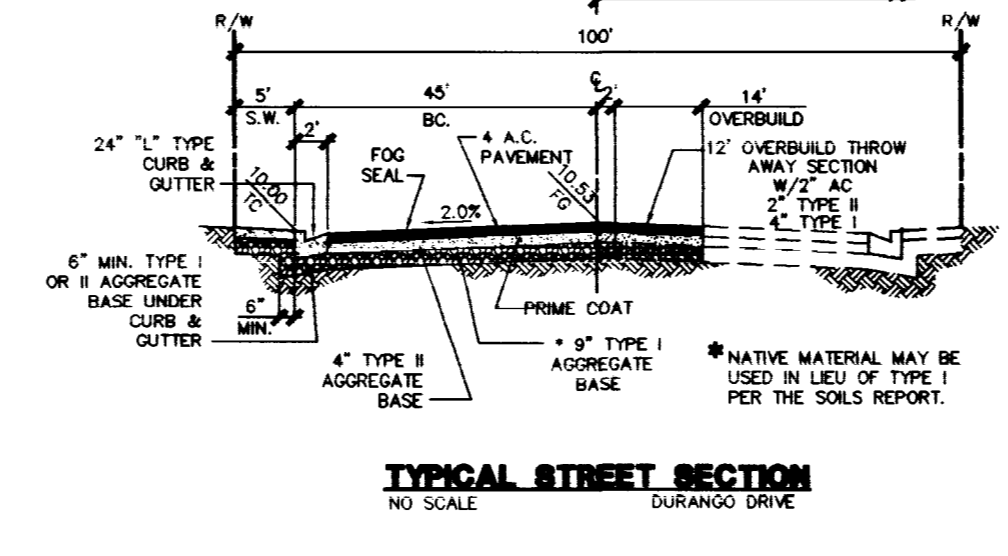
**BENCHMARK**

CLARK COUNTY BM # 0C90 - 21NW6  
RIVET AND SQUARE ALUMINUM PLATE IN TOP OF CENTER OF HEAD WALL ON THE WEST SIDE OF HIGHWAY - 95, NEAR MILE MARKER 88.95  
ELEVATION = 764.787 METERS (NAV'D/88)  
ELEVATION = 2509.14 U.S. SURVEY FEET (NAV'D/88)

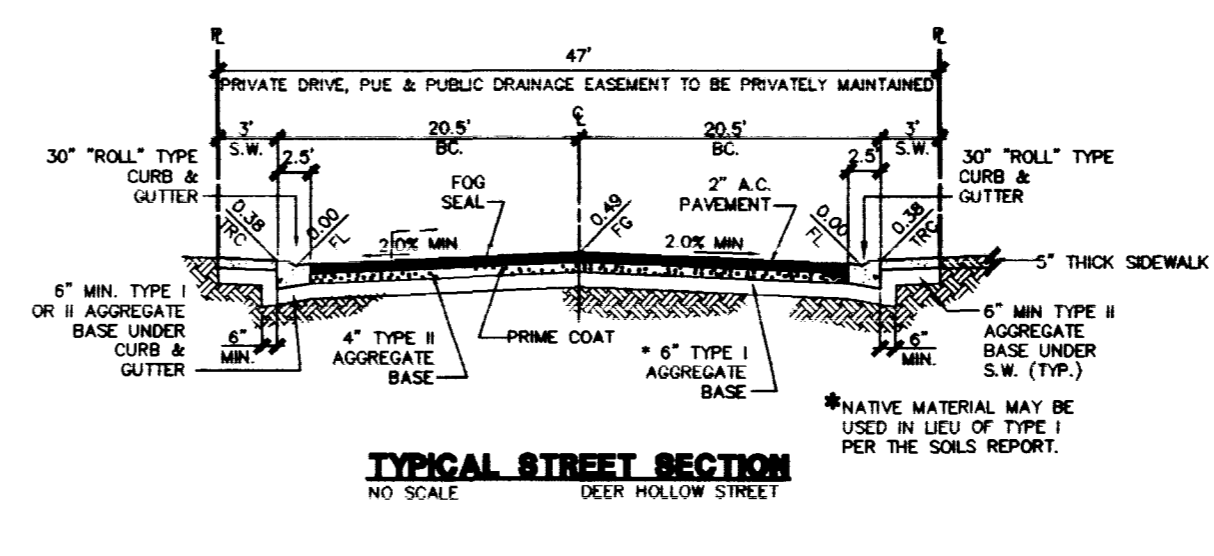
Call before you Dig  
1-800-227-2600



TYPICAL STREET SECTION  
NO SCALE



TYPICAL STREET SECTION  
NO SCALE



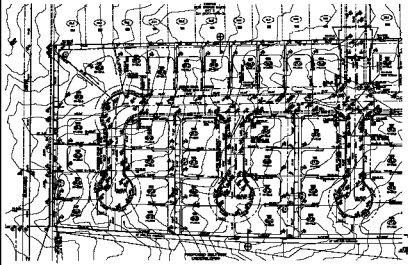
TYPICAL STREET SECTION  
NO SCALE

AMERICAN WEST HOMES, INC.  
2700 E. SUNSET ROAD, SUITE 5  
LAS VEGAS, NV 89120  
702/736-6454

GRADING PLAN  
DEER SPRINGS RANCH  
UNIT 3

SHEET 01 OF 14 SHEETS  
DRAWING NO. 107Y-4478-3  
DRAWN BY: [Signature]  
DESIGNED BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO: 4884-3  
SCALE: 1"=40' HORIZ. VERT.

H:\CAD\LANDDEV\4884\UNITS\GRD.DWG (8/10/98)



SEE PLAN FOR DETAILS

- NOTES:**
1. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUREAU OF STANDARDS SPECIFICATIONS FOR BUILDINGS.
  2. ALL MATERIALS TO BE OF THE BEST QUALITY AVAILABLE.
  3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUREAU OF STANDARDS SPECIFICATIONS FOR BUILDINGS.
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- GENERAL NOTES:**
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I HEREBY CERTIFY THAT THE ABOVE PLAN IS ACCORDING TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*[Signature]*

**NAME OF DRAWING:**  
**RESIDENTIAL PLAN**  
**NO. OF SHEETS:** 1  
**DATE:** 10/15/50  
**SCALE:** AS SHOWN

**SCALE:**  
 1" = 10'-0"  
 1/4" = 3'-0"



AMERICAN SWEEP HOMES, INC.	
GENERAL PLAN	
RESIDENTIAL PLAN	
NO. OF SHEETS: 1	
DATE: 10/15/50	
SCALE: AS SHOWN	
1" = 10'-0"	
1/4" = 3'-0"	