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# DEER SPRINGS RANCH - UNIT 1

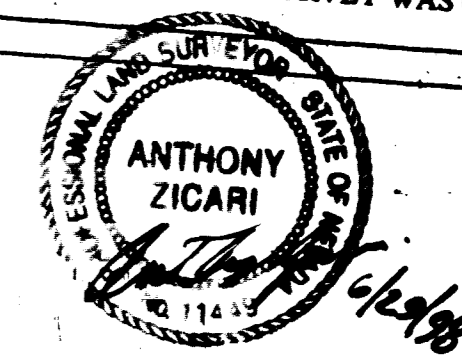
(A COMMON INTEREST COMMUNITY)

BEING A PORTION OF THE WEST HALF ( W 1/2 ) OF THE SOUTHWEST QUARTER ( SW 1/4 ) OF SECTION 21, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

## MONUMENTATION TIE MAP

I, ANTHONY ZICARI, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NEVADA, DO HEREBY CERTIFY THAT THE MONUMENTS HAVE BEEN SET AND THE TIE DISTANCE ESTABLISHED AS SHOWN HEREON. THIS SURVEY WAS COMPLETED ON \_\_\_\_\_

ANTHONY ZICARI  
NEVADA CERTIFICATION NO. 11449



### LEGEND

- P.O.B. POINT OF COMMENCEMENT
- P.O.C. POINT OF BEGINNING
- EASEMENT LINE
- ===== BOUNDARY LINE
- LOT LINE
- STREET CENTERLINE
- SET NAIL & BRASS TAG "VTN PLS 11449" OR SAWCUT TOP OF CURB ON THE PROLONGATION OF PROPERTY LINES PER NOTE 1 THIS SHEET.
- SET TYPE 5/8" REBAR WITH AL. CAP "VTN PLS 11449"
- ⊙ FOUND MONUMENT AS DESCRIBED
- 17 LOT NUMBER / RESIDENTIAL LOTS = 33  
COMMON ELEMENT LOTS = 4  
TOTAL LOTS = 37
- C25 CURVE NUMBER
- L22 COURSE NUMBER
- R19 RADIAL LINE NUMBER
- (R) RADIAL
- 1 BLOCK NUMBER
- S.F. SQUARE FEET
- (PROD) PRODUCED LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- C.E. COMMON ELEMENT

ALL LANDSCAPE EASEMENTS SHOWN HEREON ARE TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

### COURSE TABLE

LINE	DIRECTION	DISTANCE
L1	S 09°40'32" E	10.20'
L2	N 12°56'40" E	7.14'
L3	S 12°56'40" W	3.06'
L4	S 12°56'40" W	10.20'
L5	S 69°20'02" E	7.37'
L6	N 88°21'56" W	5.00'
L7	N 01°38'04" E	20.00'
L8	S 36°25'07" E	2.58'
L9	S 88°21'56" E	12.04'
L10	S 36°25'07" E	40.16'
L11	S 36°25'07" E	37.58'
L12	S 30°47'47" E	20.18'
L13	S 81°25'07" E	31.33'

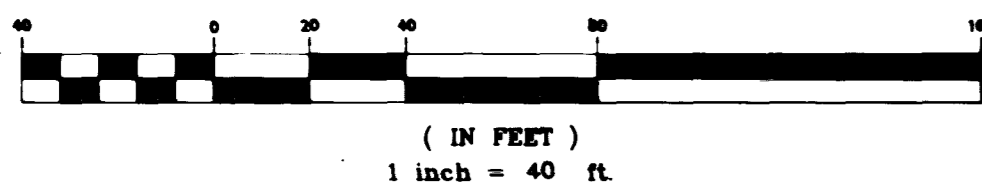
### RADIAL LINE TABLE

LINE	DIRECTION	TYPE
R1	N 02°09'59" E	
R2	N 39°08'11" E	PRC
R3	S 89°02'20" E	
R4	S 28°24'00" W	
R5	S 25°28'44" W	
R6	S 12°40'27" W	
R7	S 05°17'39" W	
R8	N 26°34'54" E	PCC
R9	S 46°03'41" W	
R10	S 42°47'33" E	
R11	N 04°50'31" E	
R12	N 08°33'13" W	
R14	N 88°21'56" W	
R15	N 89°04'42" W	
R16	N 88°21'56" W	
R17	N 89°00'13" W	

### CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA
C1	54.00'	109.43'	86.61'	116°06'49"
C2	220.00'	48.21'	24.20'	12°33'17"
C3	530.00'	58.71'	29.39'	06°20'50"
C4	530.00'	57.85'	28.95'	06°15'13"
C5	530.00'	54.95'	27.50'	05°56'26"
C6	530.00'	54.77'	27.41'	05°55'16"
C7	530.00'	4.92'	2.46'	00°31'55"
C8	15.00'	23.56'	15.00'	90°00'00"
C9	300.00'	17.51'	8.76'	03°20'40"
C10	300.00'	56.33'	28.25'	10°45'32"
C11	300.00'	12.74'	6.37'	02°25'56"
C12	240.00'	23.55'	11.78'	05°37'20"
C13	240.00'	93.17'	47.18'	22°14'34"
C14	240.00'	42.68'	21.39'	10°11'17"
C16	470.00'	30.02'	15.02'	03°39'35"
C17	470.00'	60.54'	30.31'	07°22'48"
C18	470.00'	105.04'	52.74'	12°48'17"
C19	470.00'	112.03'	56.28'	13°39'27"
C20	280.00'	52.47'	26.31'	10°44'11"
C21	250.00'	149.64'	77.14'	34°17'40"
C22	500.00'	327.27'	169.74'	37°30'07"
C23	470.00'	307.63'	159.55'	37°30'07"
C24	530.00'	346.90'	179.92'	37°30'07"
C25	425.50'	5.00'	2.50'	00°40'24"
C26	449.00'	5.00'	2.50'	00°38'17"
C27	250.00'	14.00'	7.00'	03°12'27"
C28	402.00'	5.00'	2.50'	00°42'46"
C29	25.00'	19.88'	10.50'	45°34'23"
C30	250.00'	163.63'	84.87'	37°30'07"
C31	240.00'	159.40'	82.76'	38°03'11"
C32	270.00'	179.32'	93.11'	38°03'11"
C33	300.00'	199.25'	103.45'	38°03'11"

GRAPHIC SCALE

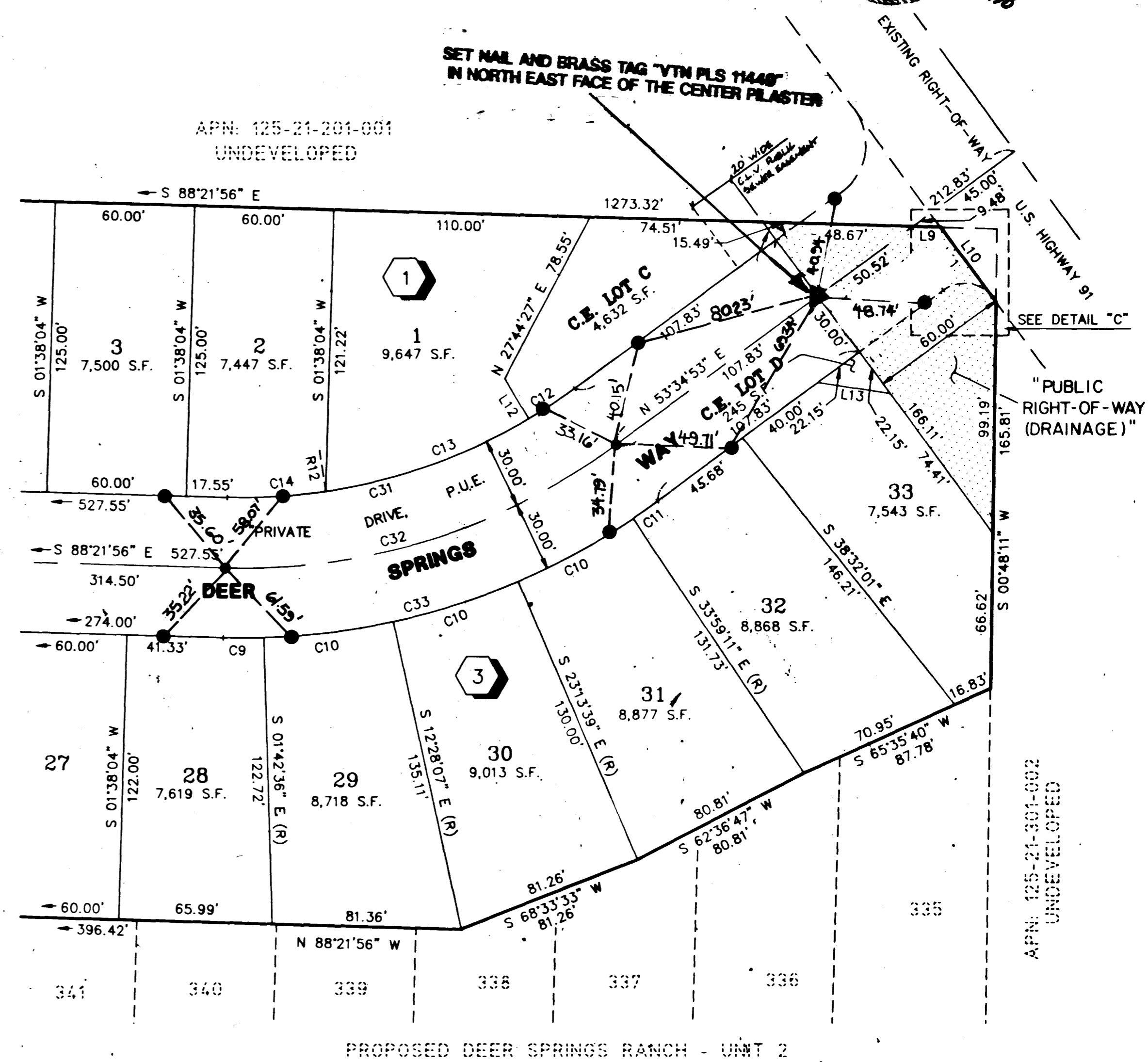


### NOTES:

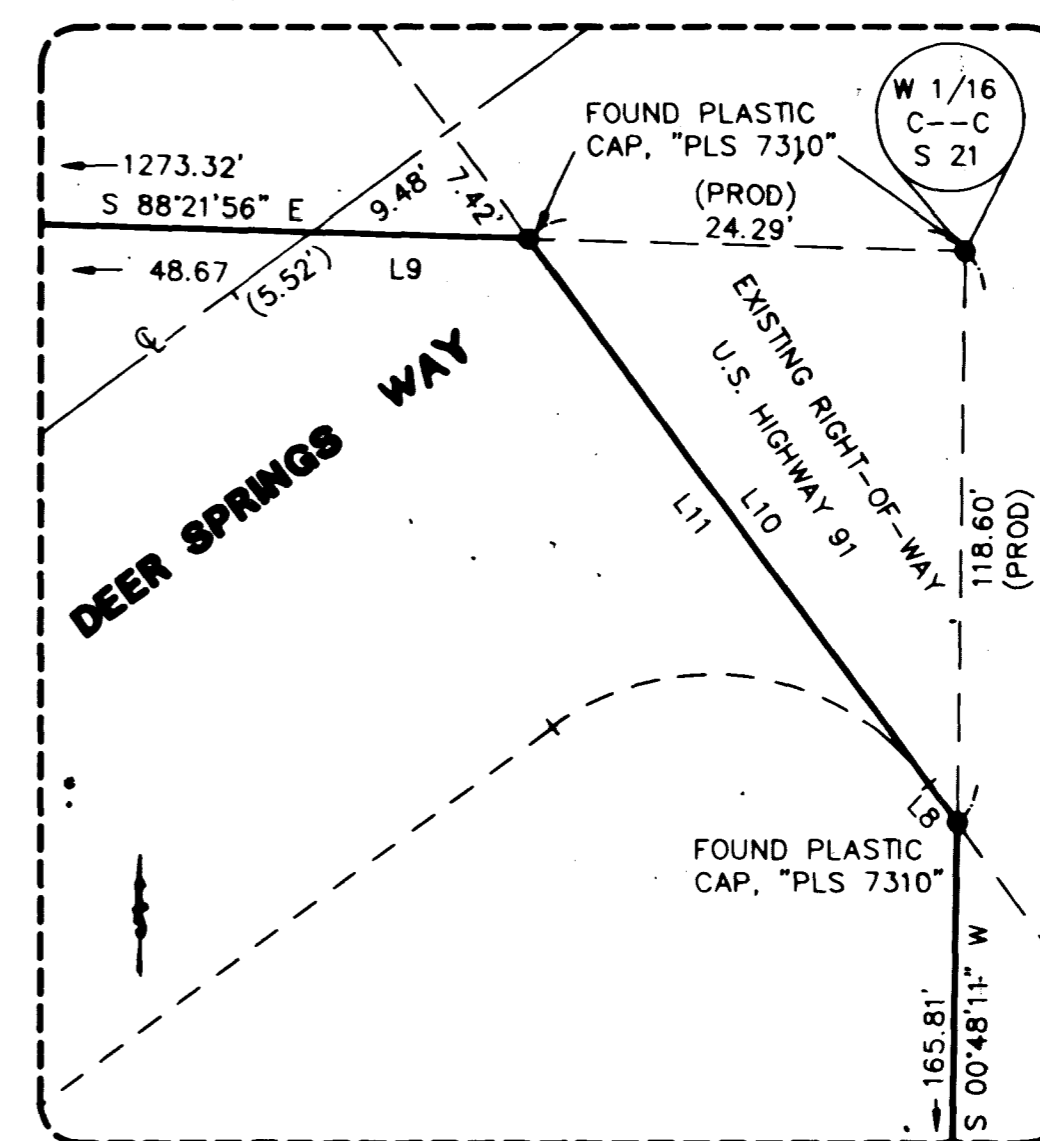
- ALL REAR LOT CORNERS SHALL BE SET WITH A NAIL AND BRASS TAG P.L.S. 11449 ON BLOCK WALL AND ALL FRONT OF SIDE LOT CORNERS ADJOINING RIGHT-OF-WAY SHALL BE MARKED BY THE SAWCUTTING OF THE BACK OF CURBS ON THE PROLONGATION OF THE PROPERTY LINES.
- DIRECT VEHICULAR ACCESS TO DURANGO DRIVE FROM ABUTTING LOTS IS PROHIBITED.

ALL PRIVATE DRIVES, AS SHOWN HEREON, ARE PUBLIC DRAINAGE EASEMENTS TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

FOR CONTINUATION SEE SHEET 2



### DETAIL "C" (NOT TO SCALE)



ACT	DATE	BY	REVISION
1	9/4/96	VCL	ADDED 60' WIDE RIGHT-OF-WAY DEDICATION

W.O. 4884-1  
SHEET 3 OF 3  
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Book 76 Page 58

