

2848 Cape Verde Ln.

CITY OF LAS VEGAS, NEVADA

LOG NO. & AREA _____ DATE 10/18/88 CONST. VAL. \$ 3,500

DEPARTMENT OF BUILDING AND SAFETY
PHONE 386-6251

DEVELOPMENT PERMIT AND BUILDING PERMIT
FOR: Fence, Wall, Retaining Wall

ADDRESS OF CONSTRUCTION 2848 CAPE VERDE LN. OWNER DILORETO CONST. PHONE _____

CONTRACTOR DOUGLAS MASONRY STATE LICENSE NO. 21659 CITY LICENSE NO. 26172

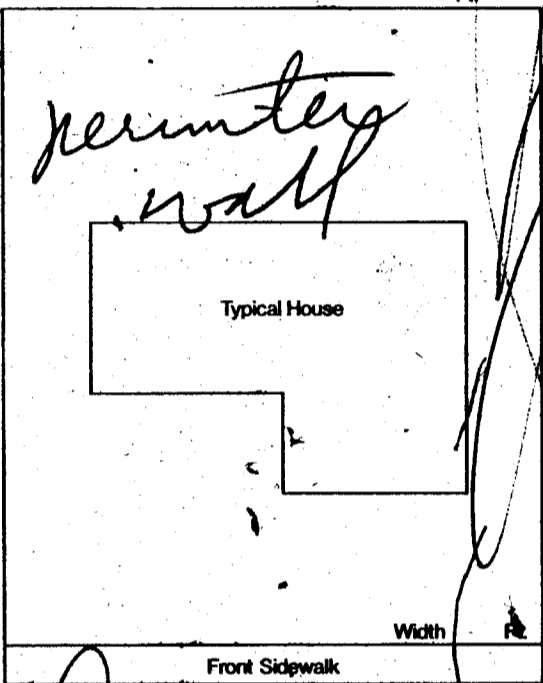
LOT(S) A7-71 BLOCK B SUBDIVISION DESERT SHORES # 19 ZONE: R-PD5

CONSTRUCTION PLANS SUBMITTED BY OWNER/CONTRACTOR CONSTRUCTION DESIGN BY CITY DESIGN SHEET.

BUILDING PERMIT NO. 6742 ENGINEER _____

Approval for the work under this permit will be given only after refuse and debris have been removed from job site and public right of way.

DESCRIPTION	TOTAL LIN. FT.	TOTAL SQ. FT.	OTHER INSPECTIONS AND FEES	
CHAIN LINK OR WIRE MESH				1. Inspections outside of normal business hours = \$30.00 per hour (minimum charge three hours). 2. Re-inspection fee during normal business hours assessed under provisions of TABLE 3-A of the Uniform Building Code = \$30.00 each. 3. Inspections during normal business hours for which no fee is specifically indicated = \$30.00 per hour (minimum charge one half hour). 4. Additional plan review required by changes, additions or revisions at approved plans = \$30.00 per hour (minimum charge two hours).
ORNAMENTAL IRON				
WOOD				
<input checked="" type="checkbox"/> MASONRY	<u>6</u>	<u>2100'</u>		
RETAINING		<u>12600</u>		



copy City Design Sheet

CONDITIONS OF THE PERMIT:

1. Any type of retaining wall must be engineered by a Civil or Structural Engineer.
2. If a home owner takes out the Building Permit and if the owner sublets the work to a Contractor, then the Contractor must take out the permit and pay for it.
3. No fence or wall can be built on City property or rights-of-way, but this is not intended to preclude construction within utility easements if utilities will not be damaged or made inaccessible.
4. The fence or wall shall not enclose any water meter, light standard, or fire alarm box and shall not come closer than 24" from the nearest fire hydrant outlet.
5. Department Inspectors must approve footings before concrete is poured and block wall reinforcing, before grouting is done.
6. Maximum height of any wall or fence is 6', side and rear yards; 4' maximum in front yard with the vertical surface above the height of 2' - 50% open.
7. I must not obstruct required onsite parking space (2 spaces for each dwelling unit) by the erection of this fence or wall.
8. By the signing of this application I herewith agree to the requirements outlined above.

FOR INSPECTIONS, CALL 799-2071

*** TO PROVIDE OPENING FOR DRAINAGE EASEMENT BETWEEN**

LOTS 37 & 38/18/88 & LOTS 63 & 64

RECEIPT
0008
WALL 242.40
CHECK 242.40
6740A000 14:04

SIGNED Daniel Garcia CONTRACTOR - AGENT - OWNER DATE 10/18/88

PLANNING DEPT. _____ DATE _____
I hereby certify that I have reviewed this application and the proposed plans and have found that the proposed development meets the requirements of the City of Las Vegas Flood Hazard Reduction Ordinance for the issuance of this Development Permit.

Shirley G. No... 10-18-88
LAND DEVELOPMENT AND FLOOD CONTROL ENGINEER DATE

Dona... 10/18/88
BUILDING DEPT. DATE

PLAN REVIEW FEE _____
PERMIT FEE 242.40
2310-2401
TOTAL FEES 242.40

MUST BE MACHINE VALIDATED

PERMIT EXPIRES 180 DAYS AFTER ABANDONMENT OF WORK

CITY OF LAS VEGAS, NEVADA

89-010721

LOG NO. & AREA _____ DATE 1/11/89 CONST. VAL. \$ _____

DEPARTMENT OF BUILDING AND SAFETY
 PHONE 388-6251 FOR INSPECTIONS, CALL 799-2071
 ADDRESS OF CONSTRUCTION 2848 CAPE VERDE LANE

ELECTRICAL PERMIT

OWNER DILCRETO / SHORELINE

CONTRACTOR BEST ELECTRIC STATE LICENSE NO. 0019488 CITY LICENSE NO. 0118422758

(PRINT NAME OF MASTER ELECTRICIAN) HOWARD DUNN MASTER CARD NO. M1-212 PHONE 3670050

PROPOSED CONSTRUCTION: TEMP POWER CONSTR. USE ONLY USE: _____

ELECTRIC PERMIT NO. _____

Approval for the work under this permit will be given only after refuse and debris have been removed from job site and public right of way.

UNITS	DESCRIPTION	FEE	TOTAL
PERMIT ISSUANCE			
1	For Issuing Each Permit	10.00	10 ⁰⁰
	Supplemental Fee	4.50	
APPLIANCE CHARGE			
Residential or General Commercial			
	Receptacle _____ Switch _____	.40	
	Each Light Fixture, Socket, or Exit Light, Smoke Detector or Exhaust Fan	.30	
	EACH OUTLET FOR SPECIAL PURPOSE: Dishwasher, Garbage Grinder, Trash Compactor, G.F.I., Clothes Washer, Dryer, Electric Range, Ovens, Water Heater, Space Heater, Blast Coil Heater, (PER K.W.), Mercury Lamp, Quartz Lamp, Sodium Lamp, 20AMP Sign Circuit	.70	
	X-Ray Unit	10.00	
	Area Lighting (First 3,000 Watts)	8.00	
	Each Additional 1,000 Watts	3.00	
MOTORS (1 HP AND OVER) TRANSFORMERS, ELEVATORS, WELDERS, GENERATORS, CHILLERS, SIGNS AND A/C UNITS (OVER 5 TONS)			
	First H.P. or Ton For each Unit	3.00	
	First KVA For Each Unit	3.00	
	Each Additional H.P., Ton or KVA up to 50	.50	
	Each Additional H.P., Ton or KVA over 50	.35	
	Temporary power or Pole	6.00	6 ⁰⁰
ELECTRIC SERVICE OR MAIN DISCONNECT			
	Up to 200 AMP	8.00	
	400 AMP And 600 AMP	12.50	
	Over 600 AMP To 1200 AMP	25.00	
	Over 1200 AMP	50.00	
	Each Additional Meter Socket	.50	
	Sub Panel, Motor Control Center Disconnect Switch, Transfer Switch (Each)	3.00	
	Swimming Pool (Residential)	20.00	
	Swimming Pool (Semi-Public)	30.00	
	Spas	8.00	
	Recreational Vehicle Spaces (Each)	3.00	

UNITS	DESCRIPTION	FEE	TOTAL
	Busways-Trolley of Plug-in (Ea. 100 Ft.)	3.00	
	Gas Pumps, Dispensers (Each)	3.00	
	Permanent A/C Unit (5 Tons or Less)	3.00	
	Each Air Handler	1.00	
RESIDENTIAL LOW VOLTAGE INSTALLATIONS			
	Speaker Outlets (Each)	.30	
	Signal or Alarm Outlets (Each)	.30	
	Amplifiers	2.00	
	Control Panel	.50	
	TV Master System	.30	
	Telephone or Computer Outlet	.30	
OTHER INSPECTIONS AND FEES: INCLUDES ISSUANCE FEES WHEN APPLICABLE			
	Inspections outside of normal business hours (minimum charge - three hours)	30.00 per hour	
	Reinspection Fee assessed under provisions of TABLE 3-A of the Uniform Building Code - \$30.00 EACH.	30.00 each	
	Inspections for which no fee is specifically indicated (minimum charge - one-half hour).	30.00 per hour	
	Additional plan review required by changes, additions or revisions to approved plans (minimum charge - one-half hour). After work hours - \$30.00 per hour - minimum 1 hour.	30.00 per hour	
	Starter Permit	50.00	
CONTRACT PRICE OR COST OF INSTALLATION			
	Commercial - Burglar Alarms		
	- Music Systems		
	- Data Processing		
	- Communication		
	Conduit Only - Contract Price		
	All Misc. Electric		

Electrical permit fees may be computed the same as building permit fees by using the cost of installation for valuation amount when such work is not included in the above schedule.

2310-2402

01/11/89

RECEIPT

0004
 ELEC 16.00
 ELEC 16.00
 CHEK 32.00
 0041A000 08:37

I hereby certify that I have carefully examined and read the above application; that the same is true and correct; and that the work herein described is to be done in accordance with all the provisions of the applicable Ordinances of the City of Las Vegas, Nevada and the State Laws, whether herein specified or not.

SIGNED HOMEOWNER CONTRACTOR BQ Houlster

BUILDING DEPT. Don Hoelsy DATE 1/11/89

Permit Expires 180 Days After Abandonment of Work

PERMIT FEE 16⁰⁰
 LESS STARTER PERMIT _____
 TOTAL FEES _____

PERMIT NO. _____
 MUST BE MACHINE VALIDATED

Abbie Inghram 3-30-89

ELEC. ONLY PLBG. ONLY, A.C. ONLY

OWNER *Di Lorenzo* DATE *7/11/89*

ADDRESS *2848, 68 Cape Verde*

CONTRACTOR PERMIT NO. FINAL INSPECTION

LOT BLOCK SUBDIVISION

LOG NO. AREA *Poles*

ELECTRIC ONLY PLUMBING ONLY

Contractor *Best* Contractor

Permit No. *10921, 22* Permit No.

Rough Elec. Rough Soil

Final Rough Rough Water

Final Elec. *55266, 67* *APM* *7/11/89* Top Out

Temp. Service Rough Gas

HEAT & VENT. A/C ONLY Final Plbg.

Contractor Final Gas

Permit No. Sewer Final

A/C Rough Duct

Rough Gas

Final A/C

Final Gas

Bridget Babington Butley

Di Loreto
Construction and
Development Inc.

February 9, 1990

Paul Wilkins, C.B.O.
Deputy Director
Dept. of Building and Safety
400 E. Stewart
Las Vegas, NV 89101

Dear Mr. Wilkins:

This is in response to our meeting of yesterday regarding the roof leaks at Shoreline Estates involving Di Loreto Construction and Development.

In review, since the leaks occurred during the rains of January 17, 18 and 19, 1990, Di Loreto Construction had our personal along with our current roofing contractor, Hayes-Catalina Roofing conduct inspections of the roofs on January 19, 1990. On January 22, 1990, Hayes-Catalina immediately commenced removing tile to make the necessary repairs to prevent further leakage. During this process, they also replaced or added deficient or missing flashing, replaced missing or torn felt, and other obvious defects to the roofs. Since that time Di Loreto Construction and Development has contracted with an independent inspection company to perform complete inspections and evaluations of all roofs (31) that were installed by the previous roofing contractor, Augie's Roofing. On Monday or Tuesday, February 12 or 13, 1990 the manufacture's representative from DURATILE is to conduct an independent, thorough inspection to determine if the roofs were installed in accordance to their specifications, ICBO and City of Las Vegas specifications and codes.

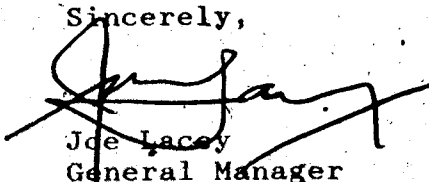
Once these inspections and reports are completed, Di Loreto Construction and Development will commence with whatever repairs are required as outlined in the reports submitted by the manufacture's representative and the independent inspector. Work will continue until all required repairs or replacements have been completed. Every effort will be made to complete this work as expeditiously as possible.

It would be greatly appreciated if your office would provide an inspector to view the workmanship on the thirty-one (31) houses in question and provide a written report to substantiate what deficiencies need to be corrected from the view point of the City of Las Vegas Building and Safety Department.

Bridget Babington-Butler

I feel that the above information should ease any doubts that your office may have as to Di Loreto Construction and Developments commitment to rectify this situation to everyones complete satisfaction. If you should need any further information or have any questions please do not hesitate to contact me. I understand your concerns in this matter and appreciate your assistance.

Sincerely,



Joe Lacey
General Manager

JL/vlt

ADDRESSES:

2841, 2845, 2849, 2852, 2853, 2856, 2857 CHANNEL BAY DR.

2848, 2852, 2856, 2860, 2861, 2864, 2865, 2868 CAPE VERDE LANE

2900, 2904, 2905, 2908, 2909 CAPE VERDE LANE

7804, 7808, 7812, 7816, 7820 CAPS VISTA LANE

7804, 7805, 7808, 7809, 7812 BLUE HARBOR COURT