

OWNER'S CERTIFICATE

WE, GREYSTONE NEVADA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, DOES HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PARCEL OF LAND WHICH IS SHOWN UPON THE MAP OF **BRADLEY & 215**, AND DO HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THIS PLAT, AND DO HEREBY OFFER AND DEDICATE TO THE CITY OF LAS VEGAS ALL THE STREETS (EXCEPT PRIVATE STREETS) AND THE OTHER PUBLIC RIGHTS-OF-WAY AND PLACES AS INDICATED AND OUTLINED HEREON, FOR THE USE OF THE PUBLIC; AND GRANT TO THE CITY OF LAS VEGAS THE EASEMENTS, AS INDICATED AND OUTLINED HEREON, FOR THE USE OF THE PUBLIC. NO PART OF THE PARCELS MARKED "NOT A PART OF THIS SUBDIVISION" IS OFFERED FOR DEDICATION.

FURTHERMORE, THE UNDERSIGNED OWNER, DOES HEREBY GRANT AND CONVEY TO NEVADA POWER COMPANY, A NEVADA CORPORATION d/b/a NV ENERGY AND CENTRAL TELEPHONE COMPANY d/b/a CENTURYLINK, JOINTLY AND SEVERALLY, SOUTHWEST GAS CORPORATION, LAS VEGAS VALLEY WATER DISTRICT AND COX COMMUNICATIONS LAS VEGAS, INC., AND TO THEIR RESPECTIVE SUCCESSORS AND ASSIGNS:

- (i) AN EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ON AND IN THOSE AREAS SHOWN HEREON AS PUBLIC UTILITY EASEMENTS (P.U.E.), PRIVATE STREET EASEMENTS AND COMMON ELEMENTS;
- (ii) A THREE-FOOT WIDE EASEMENT ABUTTING ALL SIDE PROPERTY LINES AND ALONG ALL UNDERGROUND SERVICES TO METER PANELS;
- (iii) AN EASEMENT CONTIGUOUS TO, AND/OR BACK OF PUBLIC OR PRIVATE STREETS FOR GAS LINES, CABLE TELEVISION LINES, ALL ABOVE GROUND TRANSFORMER PADS AND TELEPHONE EQUIPMENT PADS AND FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, FINAL REMOVAL AND/OR ABANDONMENT OF FIRE HYDRANTS, WATER, GAS AND CABLE TELEVISION LINES, UNDERGROUND POWER AND TELEPHONE DISTRIBUTION LINES AND APPURTENANCES, WHERE NO SIDEWALK EXISTS, THE WIDTH OF SAID EASEMENT SHALL BE DEFINED BY A LINE RUNNING PARALLEL WITH AND TEN FEET DISTANT, MEASURED AT RIGHT ANGLES FROM THE BACK OF CURB WITHIN SAID PUBLIC OR PRIVATE STREET, WHERE SIDEWALK EXISTS, THE WIDTH OF SAID EASEMENT SHALL BE DEFINED BY A LINE RUNNING PARALLEL WITH AND FIVE FEET DISTANT, MEASURED AT RIGHT ANGLES FROM THE BACK OF ANY STREET FRONTAGE SIDEWALK;
- (iv) AN ADDITIONAL TWO FEET WIDE EASEMENT AROUND EACH TRANSFORMER PAD AND TELEPHONE EQUIPMENT PAD WITHIN THE PLATTED LANDS FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, FINAL REMOVAL AND/OR ABANDONMENT OF STREET LIGHTS, FIRE HYDRANTS, GAS, WATER AND CABLE TELEVISION LINES, UNDERGROUND POWER AND TELEPHONE LINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS THEREFROM. ALSO, AN EASEMENT OVER AREAS SHOWN HEREON AS UTILITY EASEMENTS, COMMON ELEMENTS AND PRIVATE STREETS FOR THE CONSTRUCTION, MAINTENANCE, OPERATION, FINAL REMOVAL AND/OR ABANDONMENT OF STREET LIGHTS, FIRE HYDRANTS, GAS, WATER AND CABLE TELEVISION LINES, UNDERGROUND POWER AND TELEPHONE LINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF INGRESS THERETO AND EGRESS THEREFROM.

FURTHER, GREYSTONE NEVADA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, HEREBY GRANTS AND CONVEYS TO THE CITY OF LAS VEGAS AND TO ITS SUCCESSORS AND ASSIGNS, A FIVE-FOOT WIDE EASEMENT ADJACENT TO ALL PROPERTY LINES WHERE LOTS OR COMMON ELEMENTS ADJUT PUBLIC STREETS FOR PURPOSES OF PLACING PUBLIC FIRE HYDRANTS, PUBLIC STREETLIGHTS, TRAFFIC SIGNALS, CONDUITS AND APPURTENANCES THERETO AND AN ADDITIONAL EASEMENT OF UP TO TWO FEET IN RADIUS FROM EACH FIRE HYDRANT, STREETLIGHT, CONDUIT, TRAFFIC SIGNAL, CONDUIT AND APPURTENANCE, TO EXTEND BEYOND THE FIVE-FOOT EASEMENT IF NECESSARY, TOGETHER WITH THE RIGHT OF INGRESS TO AND EGRESS FROM THESE EASEMENTS.

DATED THIS 30 DAY OF MARCH, 2020.

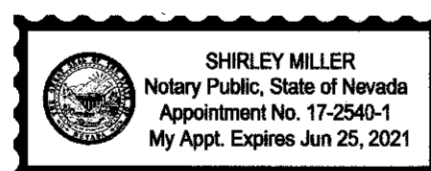
Robert Johnson
ROBERT JOHNSON, AUTHORIZED AGENT
GREYSTONE NEVADA, LLC, A DELAWARE LIMITED LIABILITY COMPANY.

ACKNOWLEDGMENT

STATE OF NEVADA }
COUNTY OF CLARK } SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON MARCH 26 2020.
BY ROBERT JOHNSON AS AUTHORIZED AGENT OF GREYSTONE NEVADA, LLC,
A DELAWARE LIMITED LIABILITY COMPANY.

Shirley Miller
SHIRLEY MILLER
NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
MY COMMISSION EXPIRES JUNE 25, 2021



DISTRICT BOARD OF HEALTH CERTIFICATE

THIS FINAL MAP IS APPROVED BY THE SOUTHERN NEVADA HEALTH DISTRICT. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES, AND IS PREDICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR DISPOSAL OF SEWAGE.

Daniel C Burns
BY: DANIEL C BURNS DATE 5-12-2020

DIVISION OF WATER RESOURCES

THIS FINAL MAP IS APPROVED BY THE STATE OF NEVADA DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY, SUBJECT TO THE REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

John G. Guilford, P.E.
BY: JOHN G. GUILFORD, P.E. DATE 5/15/2020

THE FINAL MAP OF

BRADLEY & 215

A COMMON INTEREST COMMUNITY

A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA

LEGAL DESCRIPTION

LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

LOT 278 THROUGH LOT 282, INCLUSIVE, DEPICTED ON THAT CERTAIN RECORD OF SURVEY IN FILE 52, PAGE 70, IN THE OFFICE OF THE COUNTY RECORDER OF CLARK COUNTY, NEVADA, AND RECORDED OCTOBER 18, 1989 IN BOOK 891018 OF OFFICIAL RECORDS AS DOCUMENT NO. 00517, ADOPTED AND APPROVED AS SET FORTH IN JUDGMENT AND DECREE QUIETING TITLE AND PRIOR DECISIONS AND ORDERS FILED IN CASE NO. A233462 AND CASE NO. A274127 IN THE EIGHTH JUDICIAL DISTRICT COURT OF THE STATE OF NEVADA, IN AND FOR THE COUNTY OF CLARK, AND RECORDED OCTOBER 26, 1989 IN BOOK 891026 OF OFFICIAL RECORDS AS DOCUMENT NO. 00794, CLARK COUNTY, NEVADA.

TOGETHER WITH THAT PORTION OF CENTENNIAL PARKWAY VACATED PER THAT CERTAIN DOCUMENT RECORDED June 26, 2020 IN BOOK 10100616 AS INSTRUMENT NO. 0000117 OF OFFICIAL CLARK COUNTY, NEVADA RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST COMMON CORNER OF COMMON ELEMENT "C" OF THAT CERTAIN FINAL MAP OF MEISTER PARK NORTH NO. 2, RECORDED IN BOOK 103 PAGE 36 OF PLATS AND SAID LOT 282; THENCE ALONG THE NORTH LINES OF SAID LOT 278 THROUGH LOT 282, BEING COMMON WITH THE SOUTH BOUNDARY LINE OF SAID MEISTER PARK NORTH NO. 2, BETWEEN BRADLEY ROAD AND THOM BOULEVARD, NORTH 86°48'47" EAST, 1252.40 FEET TO THE WEST RIGHT OF WAY LINE OF SAID THOM BOULEVARD; THENCE ALONG SAID WEST RIGHT OF WAY LINE, SOUTH 0°56'21" EAST, 283.98 FEET TO THE BEGINNING OF A CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 25.00 FEET AND TANGENT TO SAID WEST RIGHT OF WAY LINE; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTHWESTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 28.77 FEET, THROUGH A CENTRAL ANGLE OF 65°56'02" TO THE BEGINNING OF A REVERSE CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 45.50 FEET, THE RADIAL LINE TO SAID POINT BEARS SOUTH 70°21'37" WEST; THENCE SOUTHEASTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 34.96 FEET, THROUGH A CENTRAL ANGLE OF 44°01'25" TO THE REMAINING RIGHT OF WAY LINE OF CENTENNIAL PARKWAY, BEING A POINT OF CUSP WITH A CURVE CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 64.00 FEET, THE RADIAL LINE TO SAID POINT BEARS SOUTH 38°59'01" EAST; THENCE ALONG SAID RIGHT OF WAY LINE, SOUTHWESTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 39.95 FEET, THROUGH A CENTRAL ANGLE OF 35°45'45"; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTH 86°46'44" WEST, 76.02 FEET; THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, SOUTH 31°3'16" EAST, 13.00 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF 215 BELTWAY; THENCE DEPARTING SAID REMAINING RIGHT OF WAY LINE OF CENTENNIAL PARKWAY, SOUTH 86°46'44" WEST, 1020.01 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE OF 215 BELTWAY, TO THE REMAINING RIGHT OF WAY LINE OF SAID CENTENNIAL PARKWAY; THENCE DEPARTING SAID NORTHERLY RIGHT OF WAY LINE OF 215 BELTWAY, NORTH 31°3'16" WEST, 25.00 FEET ALONG SAID REMAINING RIGHT OF WAY LINE OF SAID CENTENNIAL PARKWAY; THENCE ALONG SAID RIGHT OF WAY LINE, SOUTH 86°46'44" WEST, 128.83 FEET TO THE EAST RIGHT OF WAY LINE OF BRADLEY ROAD; THENCE ALONG SAID EAST RIGHT OF WAY LINE, NORTH 0°31'56" WEST, 333.88 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 10.19 ACRES, MORE OR LESS.

AGENCIES AND UTILITIES APPROVALS

WE, THE HEREIN NAMED UTILITY COMPANIES AND AGENCIES, APPROVE THE GRANT OF THE DESIGNATED EASEMENTS.

Veronica Figueroa 5-31-2020
BY: VERONICA FIGUEROA DATE
CENTRAL TELEPHONE COMPANY d/b/a CENTURYLINK

Lisa Harvey 4/2/2020
BY: LISA HARVEY DATE
NEVADA POWER COMPANY, A NEVADA CORPORATION d/b/a NV ENERGY

Mitch Roseberry 4-2-2020
BY: MITCH ROSEBERRY DATE
COX COMMUNICATIONS LAS VEGAS, INC.

Dianne Ocon 05-05-2020
BY: DIANNE OCON DATE
LAS VEGAS VALLEY WATER DISTRICT

Tori Dickey 06-02-2020
BY: TORI DICKEY DATE
SOUTHWEST GAS CORPORATION

Steve Ford 6/23/2020
BY: STEVE FORD DATE
STEVE FORD, P.E. NO. 12175
CITY ENGINEER, CITY OF LAS VEGAS



CITY SURVEYOR'S CERTIFICATE

I, ALAN R. RIEKKI, CITY SURVEYOR OF THE CITY OF LAS VEGAS, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE FINAL MAP OF **BRADLEY & 215** AND AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT. THE MONUMENTS HAVE NOT BEEN SET, BUT A PROPER PERFORMANCE BOND HAS BEEN DEPOSITED TO GUARANTEE THEIR SETTING ON OR BEFORE 2/6/2022

Randy W. Mrwicki
RANDY W. MRWICKI PLS 11441 25-JUNE-2020
FOR: ALAN R. RIEKKI, P.L.S., CITY SURVEYOR DATE
CITY OF LAS VEGAS
NEVADA CERTIFICATE NO. 12469

CERTIFICATE OF DIRECTOR OF PLANNING APPROVAL

I CERTIFY THAT THIS FINAL MAP SUBSTANTIALLY COMPLIES WITH THE TENTATIVE MAP AND ANY APPROVED ALTERATIONS THERETO; THAT THE MAP COMPLIES WITH APPLICABLE STATUTORY AND ORDINANCE PROVISIONS; THAT ALL CONDITIONS IMPOSED UPON THE FINAL MAP HAVE BEEN MET; AND THAT THE MAP WAS APPROVED AND THE PARCELS HEREIN WERE ACCEPTED FOR DEDICATION BY THE DIRECTOR OF PLANNING ON THE 22 DAY OF JUNE, 2020.

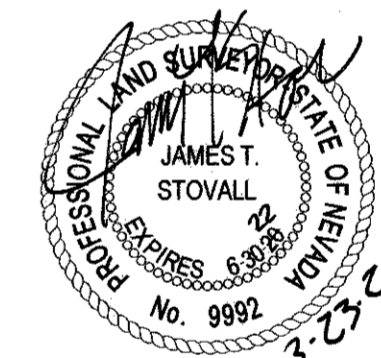
Robert Summerfield
ROBERT SUMMERFIELD, AICP
DIRECTOR OF PLANNING
CITY OF LAS VEGAS, NEVADA

SURVEYOR'S CERTIFICATE

I, JAMES T. STOVALL, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA AS AGENT FOR TANEY ENGINEERING, INC., DO HEREBY CERTIFY THAT:

- THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF GREYSTONE NEVADA, LLC, A DELAWARE LIMITED LIABILITY COMPANY.
- THE LANDS SURVEYED LIE WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA, THE SURVEY WAS COMPLETED ON JULY 10, 2019.
- THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.
- THE MONUMENTS DEPICTED ON THE PLAT WILL BE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED BY 02/06/2022, AND AN APPROPRIATE FINANCIAL GUARANTEE WILL BE POSTED WITH THE GOVERNING BODY BEFORE RECORDATION TO ASSURE THE INSTALLATION OF THE MONUMENTS.

JAMES T. STOVALL
PROFESSIONAL LAND SURVEYOR
NEVADA CERTIFICATE NO. 9992



BASIS OF BEARINGS

SOUTH 86°46'44" WEST, BEING THE BEARING OF THE CENTERLINE OF CENTENNIAL PARKWAY BETWEEN BRADLEY ROAD AND THOM BOULEVARD AS SHOWN ON THAT CERTAIN MAP ON FILE IN THE OFFICE OF THE CLARK COUNTY, NEVADA RECORDER IN FILE 52, PAGE 70 OF SURVEYS.

COUNTY RECORDER'S NOTE

ANY SUBSEQUENT CHANGES TO THIS MAP SHOULD BE EXAMINED AND MAY BE DETERMINED BY REFERENCE TO THE COUNTY RECORDER'S CUMULATIVE MAP INDEX. N.R.S. 278.5695.

FMP-78064

THE FINAL MAP OF BRADLEY & 215 FOR GREYSTONE NEVADA, LLC		OFFICIAL RECORDS BOOK NO. <u>2020624</u>
A COMMON INTEREST COMMUNITY A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK COUNTY, NEVADA		INSTRUMENT NO. <u>0120</u> FILED AT THE REQUEST OF TANEY ENGINEERING DATE <u>6/26/2020</u> AT <u>8:37 AM</u> BOOK <u>102</u> PAGE <u>47</u> OF PLATS
TANEY ENGINEERING 6030 S. JONES BOULEVARD LAS VEGAS, NEVADA 89118 (702) 362-8844 FAX: (702) 362-5233		CLARK COUNTY, NEVADA RECORDS DEBBIE CONWAY - RECORDER FEE \$ <u>87.00</u> DEPUTY <u>RNS</u>

THE FINAL MAP OF BRADLEY & 215

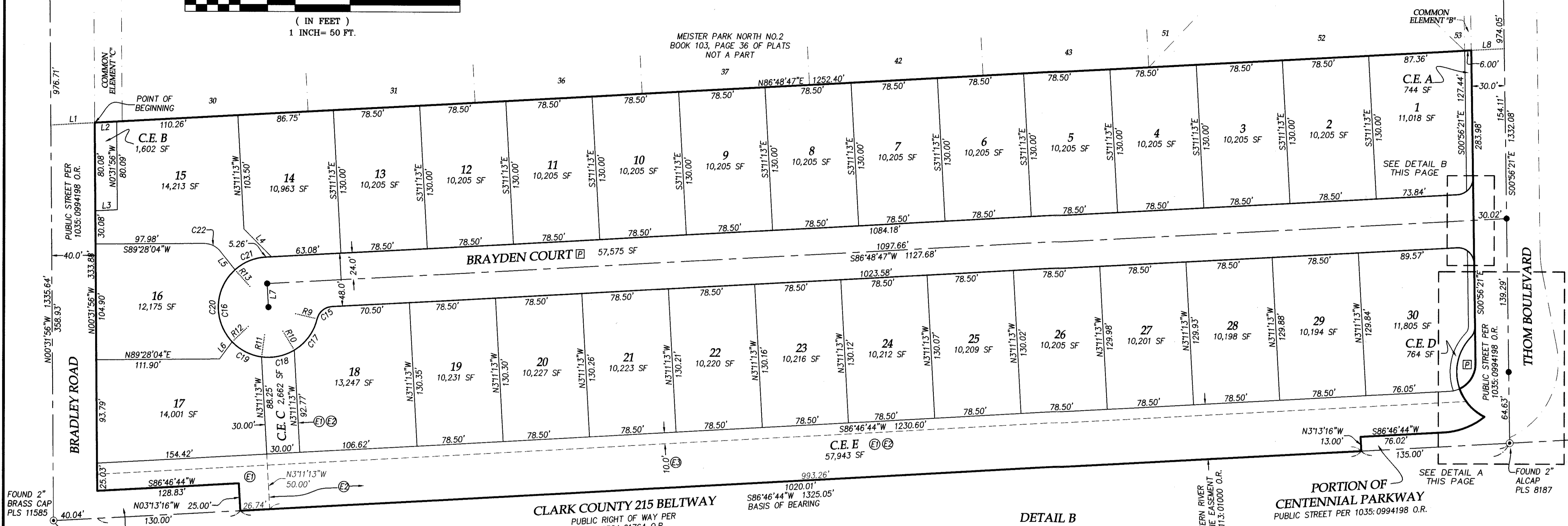
A COMMON INTEREST COMMUNITY
A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF
SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK
COUNTY, NEVADA



SCALE: 1"=50'
GRAPHIC SCALE



(IN FEET)
1 INCH = 50 FT.



PORTION OF CENTENNIAL PARKWAY
PUBLIC STREET PER 1035:0994198 O.R.

CLARK COUNTY 215 BELTWAY
PUBLIC RIGHT OF WAY PER 19980324:01764 O.R.

PORTION OF CENTENNIAL PARKWAY
PUBLIC STREET PER 1035:0994198 O.R.

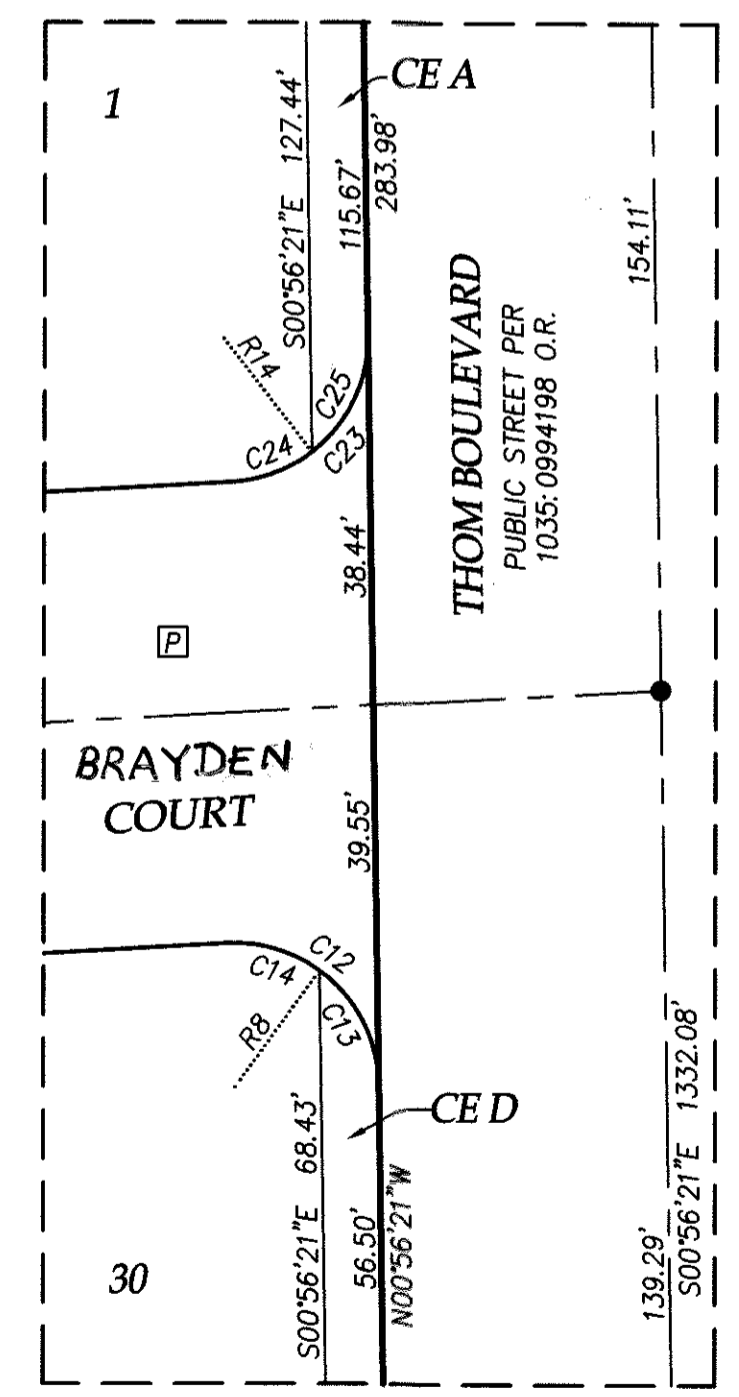
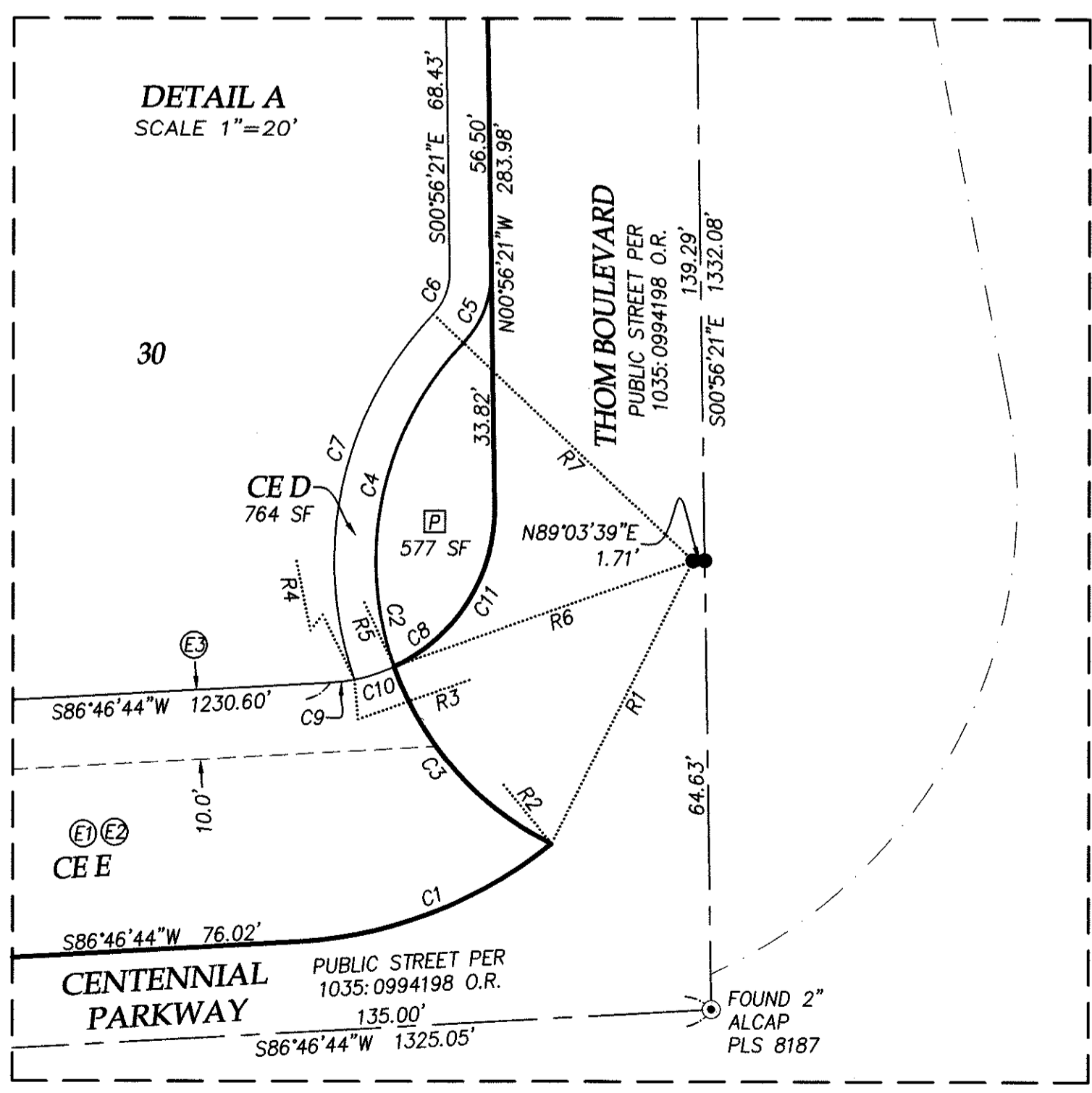
DETAIL B
SCALE 1"=20'

NOTES:

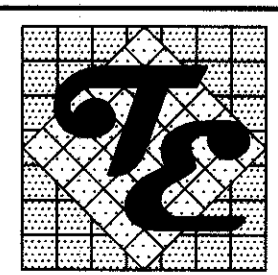
1. ALL COMMON ELEMENTS AND UTILITY EASEMENTS ARE TO BE PRIVATELY MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
2. ALL REAR LOT CORNER SHALL SET WITH NAIL AND TAG PLS 9992 ON BLOCK WALLS AND ALL FRONT AND SIDE LOT CORNERS SHALL BE MARKED BY SAW CUTTING OF THE BACK OF CURBS ON THE PROLONGATION OF THE SIDE PROPERTY LINES.
3. DIRECT VEHICULAR ACCESS TO THOM BOULEVARD ACROSS COMMON ELEMENTS TO ADJACENT LOTS IS PROHIBITED.
4. DIRECT VEHICULAR ACCESS TO BRADLEY ROAD FROM LOTS 15, 16 AND 17 IS PROHIBITED.

LAS VEGAS VALLEY WATER DISTRICT NOTES:

1. MAINTENANCE WORK ON FACILITIES LOCATED WITHIN UTILITY EASEMENTS GRANTED BY THIS MAP AND OWNED AND/OR OPERATED BY THE UTILITIES (BOTH FRANCHISE AND MUNICIPAL) MAY INCLUDE THE PLACEMENT OF AN ASPHALT OR CONCRETE PATCH AS APPLICABLE. NO EFFORT WILL BE MADE TO REPLACE OR MATCH ANY DECORATIVE SURFACE, LANDSCAPE FEATURE, OR ANY OTHER IMPROVEMENTS DISTURBED AS A RESULT OF THE MAINTENANCE ACTIVITIES OF THE UTILITIES OR THEIR AUTHORIZED REPRESENTATIVES.
2. ALL COMMON AREAS AND UTILITY EASEMENTS INDICATED HEREON AS "COMMON ELEMENTS" OR "UTILITY EASEMENTS" ARE TO BE PRIVATELY MAINTAINED BY THE HOMEOWNER'S ASSOCIATION (OR PROPERTY OWNER IF NO HOMEOWNER'S ASSOCIATION IS TO BE FORMED).



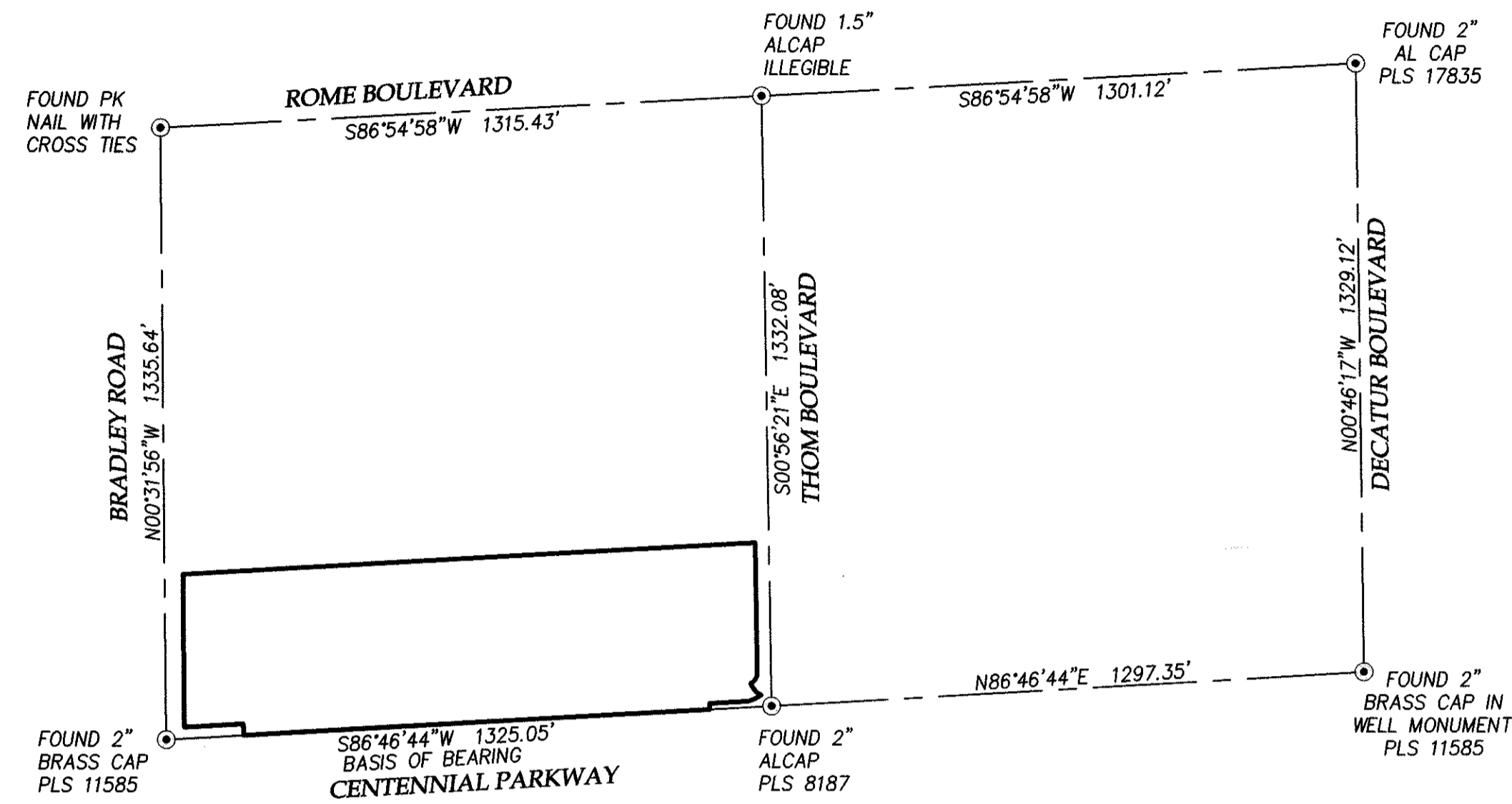
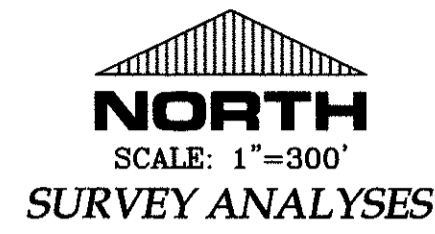
LEGEND	
	SUBDIVISION BOUNDARY LINE
	STREET CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	RADIAL/TIE/PROLONGATION LINE
10	LOT NUMBER - 30 RESIDENTIAL LOTS
C.E.	COMMON ELEMENT - 5 COMMON ELEMENTS
	FOUND MONUMENT AS SHOWN AND DESCRIBED
	SET TYPE III MONUMENT-PLS 9992 WITH REFERENCE MONUMENTS IN TOP OF CURB
R1	RADIAL BEARING NUMBER
L1	LINE NUMBER
C1	CURVE NUMBER
(R)	RADIAL
SF	SQUARE FEET, MORE OR LESS
O.R.	OFFICIAL RECORDS OF CLARK COUNTY, NEVADA
	PUBLIC STREET HEREBY OFFERED FOR DEDICATION TO THE CITY OF LAS VEGAS PER THIS MAP
	LAS VEGAS VALLEY WATER DISTRICT EASEMENT GRANTED PER THIS MAP
	EMERGENCY ACCESS EASEMENT HEREBY GRANTED TO THE CITY OF LAS VEGAS PER THIS MAP
	NEVADA POWER COMPANY, A NEVADA CORPORATION d/b/a NV ENERGY EASEMENT HEREBY GRANTED PER THIS MAP



TANEY ENGINEERING
6030 S. JONES BOULEVARD
LAS VEGAS, NEVADA 89118
(702) 362-8844 FAX: (702) 362-5233

THE FINAL MAP OF
BRADLEY & 215

A COMMON INTEREST COMMUNITY
A PORTION OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHEAST QUARTER (SE 1/4) OF
SECTION 24, TOWNSHIP 19 SOUTH, RANGE 60 EAST, M.D.M., CITY OF LAS VEGAS, CLARK
COUNTY, NEVADA



LEGEND

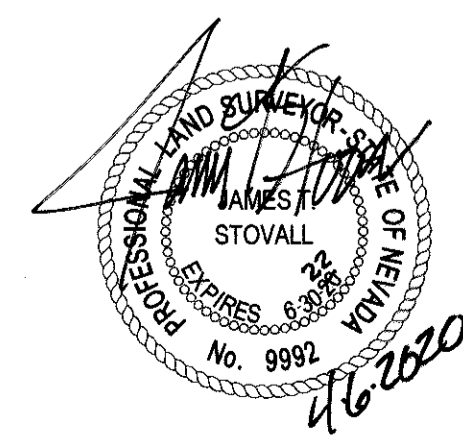
- SUBDIVISION BOUNDARY LINE
- - - STREET CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- - - EASEMENT LINE
- RADIAL/TIE/PROLONGATION LINE

10 LOT NUMBER - 30 RESIDENTIAL LOTS
C.E. COMMON ELEMENT - 5 COMMON ELEMENTS
⊙ FOUND MONUMENT AS SHOWN AND DESCRIBED
● SET TYPE III MONUMENT-PLS 9992 WITH REFERENCE MONUMENTS IN TOP OF CURB
R1 RADIAL BEARING NUMBER
C1 CURVE NUMBER
(R) RADIAL
SF SQUARE FEET, MORE OR LESS
O.R. OFFICIAL RECORDS OF CLARK COUNTY, NEVADA

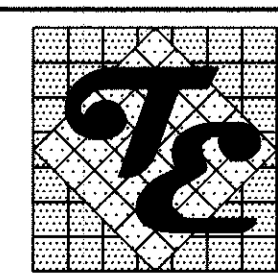
CURVE TABLE				
CURVE NO.	DELTA	RADIUS	LENGTH	TANGENT
C1	35°45'45"	64.00'	39.95'	20.65'
C2	107°13'38"	45.50'	85.15'	61.75'
C3	44°01'25"	45.50'	34.96'	18.39'
C4	63°12'13"	45.50'	50.19'	27.99'
C5	44°30'11"	14.50'	11.26'	5.93'
C6	44°30'11"	8.50'	6.60'	3.48'
C7	63°01'32"	51.50'	56.65'	31.58'
C8	87°43'05"	25.00'	38.27'	24.02'
C9	7°59'44"	25.00'	3.49'	1.75'
C10	13°47'19"	25.00'	6.02'	3.02'
C11	65°56'02"	25.00'	28.77'	16.21'
C12	92°14'54"	15.00'	24.15'	15.60'
C13	52°52'25"	15.00'	13.84'	7.46'
C14	39°07'16"	15.00'	10.24'	5.33'
C15	73°32'27"	14.50'	18.61'	10.84'
C16	253°32'28"	45.50'	201.34'	60.89'
C17	45°27'14"	45.50'	36.10'	19.06'
C18	38°57'14"	45.50'	30.93'	16.09'
C19	38°29'51"	45.50'	30.57'	15.89'
C20	91°54'21"	45.50'	72.98'	47.04'
C21	38°43'47"	45.50'	30.76'	15.99'
C22	45°34'11"	20.00'	15.91'	8.40'
C23	87°45'08"	15.00'	22.97'	14.42'
C24	34°37'20"	15.00'	9.06'	4.68'
C25	53°07'48"	15.00'	13.91'	7.50'

LINE TABLE		
LINE NO.	BEARINGS	LENGTH
L1	N86°48'47"E	40.04'
L2	N86°47'53"E	20.02'
L3	S86°48'47"W	20.02'
L4	N44°57'45"W	35.53'
L5	N38°51'17"W	23.10'
L6	N36°29'43"E	19.34'
L7	N31°11'13"W	21.50'
L8	N86°48'47"E	30.02'

RADIAL BEARINGS	
RADIAL NO.	BEARINGS
R1	S26°20'12"W
R2	S38°59'01"E
R3	S70°32'18"W
R4	S11°13'00"E
R5	S25°00'19"E
R6	S70°21'37"W
R7	N46°26'10"W
R8	N35°55'49"E
R9	S76°43'40"E
R10	S31°16'25"E
R11	N7°40'49"E
R12	S46°10'40"W
R13	S41°54'59"E
R14	S37°48'33"E



SHEET 3 OF 3



TANEY ENGINEERING
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