STANDARD ABBREVIATIONS

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W/L	WATER LINE
W/M	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

GENERAL SITE NOTES:

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL AUTHORITY HAVING JURISDICTION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS PROJECT AND ONES FIELD OF SERVICE SHALL NOT RELIEVE THEM OF ANY RESPONSIBILITY FOR PERFORMING THEIR WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
7. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
8. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER AND EROSION AND SEDIMENT CONTROL AUTHORITY.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE RECEIVING, UNLOADING, STORING AND PROTECTION OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
10. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL CONTRACTOR SHALL POWER WASH THE ENTIRE CONSTRUCTION AREA PRIOR TO TURNOVER TO THE OWNER.
11. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER AND THE ARCHITECT/ENGINEER.
12. SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.
13. IF REQUESTED BY THE OWNER OR AUTHORITY HAVING JURISDICTION, CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCING, PER AUTHORITY HAVING JURISDICTION REQUIREMENTS OR A MINIMUM 6 FOOT HIGH, AROUND ENTIRE AREA OF CONSTRUCTION OR PER THE CLIENTS STANDARDS. FIELD VERIFY EXACT LOCATION AND SPECIFICATIONS OF FENCE WITH THE OWNER PRIOR TO START OF CONSTRUCTION. REMOVE FENCING AT COMPLETION OF PROJECT AND PATCH PAVING AS REQUIRED AT FENCE POST HOLES.
14. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC UNLESS NOTED OTHERWISE).
15. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
16. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
17. CONSTRUCTION SHALL COMPLY WITH ALL AUTHORITY HAVING JURISDICTION CODES AND BE CONSTRUCTED TO SAME.
18. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY DAMAGE INCURRED TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
19. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF BUILDING APPURTENANCES, STAIRS, RAMPS, SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
20. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF FOUR INCHES OF TOPSOIL, UNLESS OTHERWISE NOTED IN THESE PLANS, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
21. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE MAINTAINED, ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
22. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
23. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS AND THE OWNER/ DEVELOPER SITE WORK SPECIFICATIONS.
24. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
25. IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL SHALL BE REMOVED FROM THE SITE AND THE SITE SHALL BE STABILIZED PER THE PERMIT FOR STORM WATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
26. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
27. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO AUTHORITY HAVING JURISDICTION STANDARDS.
28. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE AUTHORITY HAVING JURISDICTION DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
29. PREVIOUS SITE PLAN REMAINS IN EFFECT EXCEPT AS MODIFIED BY THE PROPOSED REVISIONS.
30. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES ON OR NEAR THE CONSTRUCTION SITE.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND CODES AND OBTAIN ALL REQUIRED PERMITS FOR ANY CONSTRUCTION ACTIVITY.
2. THE CONTRACTOR SHALL CONTACT 811 DIG SAFELY BEFORE PERFORMING ANY EXCAVATION WORK.
3. THE CONTRACTOR SHALL INSTALL ALL CONSTRUCTION FENCING AND EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY.
4. ALL STRUCTURES, UTILITIES, SITE IMPROVEMENTS AND TREES DESIGNATED ON THE DRAWINGS OR DIRECTED BY THE ENGINEER TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY ALL CONSTRUCTION OPERATIONS. THIS SHALL BE ACCOMPLISHED BY ERECTING BARRIERS, GUARDS AND ENCLOSURES AS SHOWN ON THE DRAWINGS OR OTHER APPROVED MEANS. PROTECTION SHALL BE MAINTAINED UNTIL ALL WORK IN THE VICINITY OF THE WORK BEING PROTECTED HAS BEEN COMPLETED.
5. THE CONTRACTOR SHALL COMPLY WITH ALL DEMOLITION AND NEW CONSTRUCTION INSPECTIONS AS REQUIRED BY FEDERAL, STATE AND AUTHORITY HAVING JURISDICTION LAWS, REGULATIONS AND BUILDING CODES.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL AUTHORITIES HAVING JURISDICTION) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE NOTED.
7. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE CONTRACT DOCUMENTS.
8. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, VEGETATION FROM CLEARING AND GRUBBING, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING FOR ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
9. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
10. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
11. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
12. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
13. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY AND REMOVED TO THE PROPERTY LINE. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
14. CONTRACTOR TO REPLACE ALL DEAD AND/OR DAMAGED SHRUBS IN KIND.

GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
2. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE AUTHORITY HAVING JURISDICTION AND CONTRACTOR HAS BEEN NOTIFIED BY SAID ENGINEER.
4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, UNLESS OTHERWISE SPECIFIED IN PLANS. THE ENGINEER AND ITS OWNER SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
6. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES' INSPECTORS PER AUTHORITY HAVING JURISDICTION REQUIREMENTS BEFORE CONNECTING TO ANY EXISTING LINE AND FOLLOW ALL REQUIREMENTS AND SPECIFICATIONS.
8. UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. ALL CONCRETE FOR ENCASEMENTS SHALL MEET THE AUTHORITY HAVING JURISDICTION REQUIREMENTS FOR ENCASEMENT.
10. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. THE CONTRACTOR SHALL CONSTRUCT GRAVITY SEWER LATERALS, MANHOLES, GRAVITY SEWER LINES AND DOMESTIC WATER AND FIRE PROTECTION SYSTEM AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIALS, EQUIPMENT, MACHINERY, TOOLS, MEANS OF TRANSPORTATION AND LABOR NECESSARY TO COMPLETE THE WORK IN FULL AND COMPLETE IN ACCORDANCE WITH THE SHOWN, DESCRIBED AND REASONABLY INTENDED REQUIREMENTS OF THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
12. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
13. DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
14. ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
15. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE AUTHORITY HAVING JURISDICTION UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED AND RETURNED TO THE CONTRACTOR.
16. PER AUTHORITY HAVING JURISDICTION TIMING REQUIREMENTS, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE AUTHORITY HAVING JURISDICTION ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED PER TIMING REQUIREMENTS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONNEL. ANY WORK PREFORMED PRIOR TO NOTIFYING THE AUTHORITY HAVING JURISDICTION ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
17. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
18. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND ANY TYPE OF SEWER LINES OR OTHER SOURCES OF CONTAMINATION, UNLESS OTHERWISE NOTED IN THE PLANS. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT, UNLESS OTHERWISE NOTED IN THE PLANS. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST 10 FEET EITHER SIDE OF THE CROSSING, UNLESS OTHERWISE NOTED IN THE PLANS. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT, UNLESS OTHERWISE NOTED IN THE PLANS. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
19. A MINIMUM HORIZONTAL DISTANCE OF 3 FEET, UNLESS OTHERWISE NOTED IN THE PLANS, SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
20. ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350, UNLESS OTHERWISE NOTED IN THE PLANS. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
21. TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
22. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE COVER LEVEL WITH FINISH PAVEMENT GRADES.
23. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE AUTHORITY HAVING JURISDICTION AND/OR FIRE DEPARTMENT.
24. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.
25. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.
26. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS OR AUTHORITY HAVING JURISDICTION SPECIFICATIONS, WHICHEVER IS MORE STRINGENT.

GENERAL PAVING AND GRADING NOTES:

1. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS SHALL MEET THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES, UNLESS OTHERWISE NOTED IN THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION AND SHALL MEET ALL AUTHORITY HAVING JURISDICTION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
5. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY A LICENSED PROFESSIONAL SURVEYOR AND MAPPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL, UNLESS OTHERWISE NOTED IN THE PLANS. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
10. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE AUTHORITY HAVING JURISDICTION CODES AND BE CONSTRUCTED TO SAME.
11. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS AND STANDARDS (LATEST EDITION) RESPECTIVELY.
12. ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM CO

STANDARD ABBREVIATIONS

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ADA	AMERICANS WITH DISABILITY ACT
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BC	BOTTOM OF CURB
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BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
ME	MATCH EXISTING
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
W/L	WATER LINE
W/M	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

CITY OF LAS VEGAS GENERAL NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE "UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION OFFSITE IMPROVEMENTS, CLARK COUNTY AREA NEVADA", LATEST ISSUE; THE "UNIFORM STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, CLARK COUNTY AREA NEVADA", LATEST REVISED EDITION; THE "SUMMERLIN IMPROVEMENT STANDARDS" FOR WORK IN THE SUMMERLIN AREA; AND OTHER APPLICABLE APPROVED STANDARDS ISSUED BY THE CONTROLLING AGENCY; THE UNIFORM BUILDING CODE; AND ALL LOCAL CITY CODES AND ORDINANCES APPLICABLE, EXCEPT AS NOTED ON THIS SHEET AS "DEVIATIONS FROM STANDARDS".
2. THE EXISTENCE AND LOCATION OF ANY OVERHEAD OR UNDERGROUND UTILITY LINES, PIPES, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A RESEARCH OF THE AVAILABLE RECORDS. EXISTING UTILITIES AS SHOWN FROM CLV PLANS LIBRARY ARE APPROXIMATE AND FOR RECORD PURPOSES. EXISTING UTILITIES ARE LOCATED ON PLANS ONLY FOR THE CONVENIENCE OF THE CONTRACTOR. EXISTING UTILITY SERVICE LATERALS MAY NOT BE SHOWN ON THE PLANS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, LOCATE ALL UNDERGROUND AND OVERHEAD INTERFERENCE'S WHICH MAY AFFECT HIS OPERATION DURING CONSTRUCTION AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO SAME. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR OVERHEAD UTILITIES SO AS TO SAFELY PROTECT ALL PERSONNEL AND EQUIPMENT, AND SHALL BE RESPONSIBLE FOR ALL COST AND LIABILITY IN CONNECTION THEREWITH.
3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING UTILITY LINES, STRUCTURES AND STREET IMPROVEMENTS WHICH ARE TO REMAIN IN PLACE, FROM DAMAGE, AND ALL SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED SATISFACTORY TO THE CITY ENGINEER AND OWNING UTILITY COMPANY AT THE EXPENSE OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS, ANY REVISIONS SHALL HAVE THE PRIOR WRITTEN APPROVAL OF THE CITY ENGINEER.
5. TYPE V CEMENT SHALL BE USED IN ALL OFF-SITE CONCRETE WORK. CONCRETE TO BE 3000 P.S.I. MINIMUM @ 28 DAYS. MIX DESIGNS TO BE APPROVED BY THE CITY, PRIOR TO THE USE ON THE PROJECT.
6. PERMITS ARE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL SECURE ALL PERMITS AND INSPECTIONS REQUIRED FOR THIS CONSTRUCTION.
7. EXPANSION JOINTS REQUIRED, MAXIMUM EVERY 300' IN EXTRUDED-TYPE CURB.
8. AC PAVEMENT TO BE ONE-HALF INCH (½") ABOVE LIP OF ALL GUTTERS AFTER COMPACTION, EXCEPT AT SIDEWALK RAMPS AND CROSS GUTTERS.
9. CURB AND GUTTER FOUND TO BE UNACCEPTABLE TO THE CITY OF LAS VEGAS SHALL BE REMOVED AND REPLACED PER STANDARD DRAWING 216.
10. SIDEWALK RAMPS SHALL BE CONSTRUCTED IN EACH QUADRANT OF A INTERSECTION PER STANDARD DRAWING 235. EXACT LOCATION OF RAMPS MAY BE ADJUSTED IN THE FIELD BY A CITY INSPECTOR.
11. CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION. THE EXTENT OF THE TRANSITIONS TO BE AS SHOWN ON PLANS.
12. ALL GRADING WORK SHALL CONFORM TO THE SOILS REPORT AS PREPARED BY THE (COMPANY, REPORT #, DATE) APPROVED BY THE CITY ENGINEER, AND AS SHOWN ON THESE PLANS.
13. EXACT LOCATION OF ALL SAWCUT LINES MAY BE ADJUSTED OR DETERMINED IN THE FIELD BY A CITY OF LAS VEGAS ENGINEER IF LOCATION ON PLANS IS NOT CLEARLY SHOWN, OR EXISTING PAVEMENT CONDITION REQUIRES RELOCATIONS.
14. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT EXISTING PERMANENT SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE REPLACED AND ADJUSTED PER AVAILABLE RECORDS IN ACCORDANCE WITH N.R.S. STATUTE NO. 625.380 & CITY OF LAS VEGAS TITLE 18, APPENDIX D.
15. UTILITY COMPANY METER BOXES, MANHOLE LIDS, VALVE COVERS, ETC., SHALL BE LOCATED OUT OF DRIVEWAYS, DRIVEWAY APRONS, FLOWLINES, AND CROSS GUTTERS UNLESS WRITTEN APPROVAL IS GRANTED BY THE UTILITY COMPANY AND THE CITY ENGINEER.

WALL NOTES:

16. ALL WALLS, NEW OR EXISTING, ARE ONLY SHOWN ON CIVIL PLANS FOR THE PURPOSE OF REVIEWING GRADING RELATIONSHIPS; FLOOD CONTROL AND SIGHT DISTANCE AT INTERSECTIONS. NEW WALLS REQUIRE A SEPARATE PERMIT AND INSPECTION BY THE BUILDING DEPARTMENT.
17. ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE CITY ENGINEER PRIOR TO THE PLACEMENT OF ASPHALT WITHIN CITY RIGHT OF WAY.
18. CONTRACTOR SHALL ADJUST ALL NEW AND EXISTING INLETS, VALVE BOXES, MANHOLE RIMS, AND SEWER CLEAN OUTS, ETC. TO FINISH GRADE AS APPLICABLE WHETHER OR NOT THEY ARE SHOWN ON THE PLANS.
19. MATERIALS, HANDLING AND PLACEMENT OF PORTLAND CEMENT CONCRETE SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF NDOT OR THE CLARK COUNTY AREA SPECIFICATIONS (AS APPLICABLE) AND THE PLANS AND DETAILS SHOWN HEREON
20. WHEN INSTALLING UNDERGROUND FACILITIES THAT REQUIRE UNDERGROUND LOCATING DEVICES SUCH AS MARKER BALLS, LOCATING RIBBON, ETC, THE CONTRACTOR SHALL PROVIDE WRITTEN DOCUMENTATION TO OFFSITE INSPECTION AND TESTING CERTIFYING THAT ALL DEVICES HAVE BEEN PLACED AND VERIFIED TO BE IN GOOD WORKING CONDITION PRIOR TO THE CONSTRUCTION OF ANY ROAD BASE.
21. AFTER HAUNCHING AND PRIOR TO BACKFILL OPERATIONS WHICH WOULD COVER SANITARY SEWER AND STORM DRAIN FACILITIES, CONTRACTOR IS REQUIRED TO SCHEDULE CLV OPEN-TRENCH UTILITY SURVEY INSPECTION FOR DETERMINATION OF FINAL LOCATION COORDINATES. FACILITIES TO BE LOCATED BY CLV SHALL INCLUDE AT A MINIMUM THE HORIZONTAL AND VERTICAL (INVERT) LOCATION OF PUBLIC SEWER MANHOLES, STORM DRAIN MANHOLES AND TRANSITION STRUCTURES, STORM DRAIN LATERALS AT THE CONNECTION TO THE STORM DRAIN MAIN AND AT THE CONNECTION TO A DROP INLET, THE CONNECTION OF SEWER SERVICE LATERALS TO THE SEWER MAIN AND WHERE THE SEWER SERVICE LATERALS EXIT THE PUBLIC RIGHT-OF-WAY, SEWER AND STORM DRAIN MAIN ALIGNMENT, INCLUDING DEFLECTION POINTS.
22. CCTV VIDEO INSPECTION IS REQUIRED FOR ALL SEWER AND STORM DRAINS. THE CCTV VIDEO INSPECTIONS NEED TO BE PERFORMED PER THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS LATEST EDITION.
23. A SEPARATE BORING PERMIT IS REQUIRED FOR ALL BORING ACTIVITIES.

CITY OF LAS VEGAS GRADING NOTES

1. IN THE EVENT THAT ANY UNFORESEEN CONDITIONS NOT COVERED BY THESE NOTES ARE ENCOUNTERED DURING GRADING OPERATIONS, THE OWNER/ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTION.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
3. CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING SHALL BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
4. THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
6. CONTRACTOR SHALL GRADE TO THE LINES AND ELEVATIONS SHOWN ON THE PLANS WITHIN THE FOLLOWING HORIZONTAL AND VERTICAL TOLERANCES AND DEGREES OF COMPACTION, IN THE AREAS INDICATED:

	HORIZONTAL	VERTICAL	COMPACTION
A. PAVEMENT AREA SUBGRADE	0.1'+	+0.0' TO -0.1'	SEE SOILS REPORT
B. ENGINEERED FILL	0.5'+	+0.1' TO -0.1'	SEE SOILS REPORT

COMPACTION TESTING WILL BE PERFORMED BY THE OWNER OR HIS REPRESENTATIVE

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7. ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
8. THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER.
9. THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
10. IN THE EVENT THAT ANY TEMPORARY CONSTRUCTION ITEM IS REQUIRED THAT IS NOT SHOWN ON THESE DRAWINGS, THE OWNER AGREES TO PROVIDE AND INSTALL SUCH ITEM AT HIS OWN EXPENSE AND AT THE DIRECTION OF THE CITY ENGINEER. TEMPORARY CONSTRUCTION INCLUDES DITCHES, BERMS, ROAD SIGNS AND BARRICADES, ETC.

CITY OF LAS VEGAS TRAFFIC NOTES

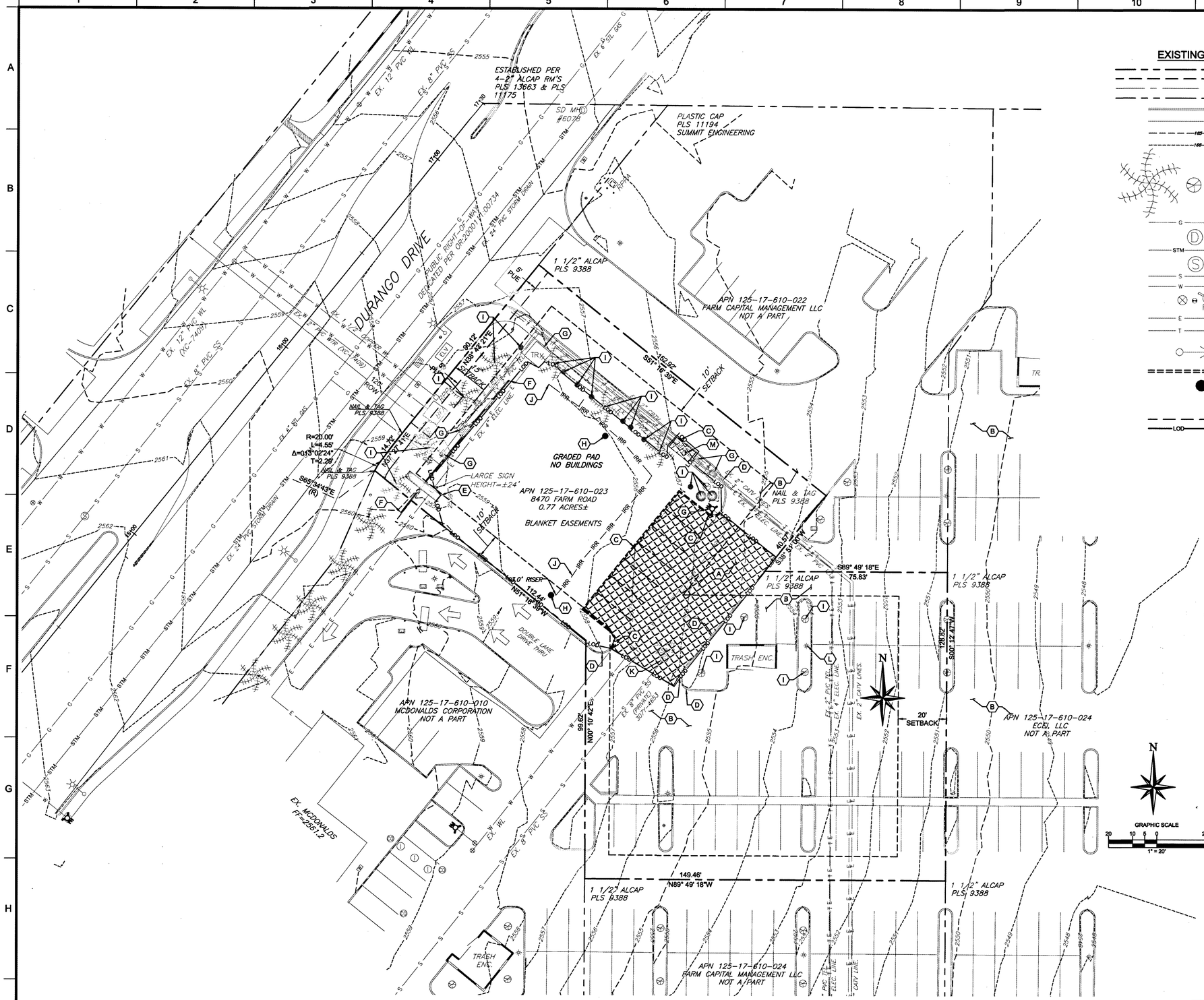
1. ALL CONSTRUCTION SIGNING, BARRICADING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
2. THE STREET SIGN CONTRACTOR SHALL OBTAIN STREET NAMES AND BLOCK NUMBERING FROM THE PLANNING DEPARTMENT PRIOR TO CONSTRUCTION.
3. BEFORE ANY WORK IS STARTED IN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL INSTALL ALL ADVANCE WARNING SIGNS FOR THE CONSTRUCTION ZONE. THE CONTRACTOR SHALL INSTALL TEMPORARY STOP SIGNS AT ALL NEW STREET ENCROACHMENTS INTO EXISTING CITY STREETS WHERE WARRANTED IMMEDIATELY AFTER FIRST GRADING WORK IS ACCOMPLISHED, AND SHALL MAINTAIN SAID SIGNS UNTIL PERMANENT SIGNS ARE INSTALLED.
4. WHEN A DESIGNATED "SUGGESTED ROUTE TO SCHOOL" IS ENCROACHED UPON BY A CONSTRUCTION WORK ZONE AND PUBLIC WORKS STAFF IDENTIFIES A NEED FOR STUDENTS TO BE ASSISTED IN THE SAFE CROSSING THROUGH THAT WORK ZONE, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE A QUALIFIED "CROSSING GUARD". THE GUARD SHALL BE PRESENT FOR THE FULL DURATION OF TIME THAT CHILDREN ARE LIKELY TO BE PRESENT.
5. IF THE IMPROVEMENTS NECESSITATE THE OBLITERATION, TEMPORARY OBSTRUCTION, TEMPORARY REMOVAL OR RELOCATION OF ANY EXISTING TRAFFIC PAVEMENT MARKING, SUCH PAVEMENT MARKING SHALL BE RESTORED OR REPLACED WITH LIKE MATERIALS TO THE SATISFACTION OF THE CITY TRAFFIC ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL PERMANENT SIGNS SHOWN ON THE PLANS. ALL NEW TRAFFIC SIGNS SHALL UTILIZE TYPE XI RETROREFLECTIVE SHEETING IN ACCORDANCE WITH CCAUSS 627 AND 716 AND SHALL HAVE AN ANTI-GRAFFITI PROTECTIVE OVERLAY FILM THAT IS A MATCHING COMPONENT TO, AND OF THE SAME MANUFACTURER AS THE RETROREFLECTIVE SHEETING TO WHICH IT IS APPLIED. STREET NAME SIGNS SHALL CONFORM IN THEIR ENTIRETY TO CURRENT CITY STANDARDS. ALL OTHER SIGNS SHALL BE STANDARD SIZE UNLESS OTHERWISE SPECIFIED ON THE PLANS. ALL SIGN POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT CITY STANDARDS.
7. WHEN A PROPOSED STREET LIGHT STANDARD IS LOCATED WITHIN FIVE (5') FEET OF ANY PROPOSED SIGN SHOWN ON THE PLANS TO BE MOUNTED ON A SIGNPOST, THE SIGN SHALL BE MOUNTED ON THE STREET LIGHT STANDARD AND THE SIGNPOST SHALL BE ELIMINATED.
8. ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HERE UNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
9. STREET SIGNS AND STOP SIGNS SHALL BE INSTALLED PER CITY STANDARD SPECIFICATIONS FOR PLACEMENT OF STREET NAME SIGNS.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL DEVICES AND FLAGGERS TO INSURE THE SAFETY OF THE PUBLIC IN OR AROUND THE WORK AREA. THE CONTRACTOR SHALL HAVE A CERTIFIED ATSSA TRAFFIC CONTROL TECHNICIAN OR IMSA WORK ZONE SAFETY SPECIALIST SET UP, MAINTAIN AND/OR REMOVE ALL TRAFFIC CONTROL DEVICES IN THE CITY OF LAS VEGAS RIGHT OF WAY.
11. WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE EXPEDITED TO COMPLETION SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING REGIONAL TRANSPORTATION COMMISSION OF SOUTHERN NEVADA (RTC), IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.
13. GUARDS SHALL BE OBTAINED BY CONTACTING THE METROPOLITAN POLICE DEPARTMENT SPECIAL EVENTS UNIT (PHONE # 828-3442) WHO WILL PROVIDE OFFICERS PROPERLY TRAINED IN TRAFFIC CONTROL. FEES FOR THE USE OF THESE OFFICERS SHALL BE SET BY METRO AND WILL BE PAID BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR ALL ARRANGEMENTS WITH METRO.
14. ANY WORK WITHIN 300' OF A SIGNALIZED INTERSECTION WILL BE NIGHT WORK, UNLESS DIRECTED BY THE CITY OF LAS VEGAS TRAFFIC ENGINEER.
15. THE CONTRACTOR SHALL CONTACT THE TRAFFIC ENGINEERING DIVISION (TRANSPORTATION SECTION) THROUGH THE PROJECT'S OFFSITE INSPECTOR PRIOR TO INITIATING PAVING TO RECEIVE DIRECTION FOR ANY PERMANENT OR TEMPORARY MODIFICATIONS TO THE APPROVED DRAWINGS REGARDING FINAL PAVEMENT TRANSITIONS, MARKINGS AND SIGNING THAT ARE REQUIRED TO MATCH ADJACENT ROADWAY SEGMENTS. THE CONTRACTOR SHALL PROVIDE A DRAWING FOR APPROVAL BY THE TRAFFIC ENGINEERING DIVISION DEPICTING ANY ADJUSTMENTS TO THE FINAL PAVEMENT MARKINGS AND SIGNAGE, WHICH MAY INCLUDE OMITTING, ADDING OR MODIFYING PAVEMENT MARKINGS AND TRAFFIC CONTROL SIGNS SUCH THAT ADEQUATE TRANSITIONS AND LANE TERMINATIONS BETWEEN ADJACENT ROADWAY SEGMENTS ARE CONSTRUCTED.

CITY OF LAS VEGAS SEWER NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE DESIGN AND CONSTRUCTION STANDARDS FOR WASTEWATER COLLECTION SYSTEMS AND THE UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS' CONSTRUCTION OFF-SITE IMPROVEMENTS, CLARK COUNTY AREA, NEVADA, AS AMENDED. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO BE AWARE OF THE CONTENTS OF THE ABOVE SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION AS PER PLANS. ANY ADDITIONS, DELETIONS, OR CHANGES SHALL FIRST MEET WITH THE APPROVAL OF THE CITY ENGINEER.
3. CHISEL "S" OR "G" IN CURBS WHERE SEWER OR GAS LATERALS PASS UNDER THE CURB.
4. POLYVINYL (PVC) SEWER PIPE SHALL MEET ASTM D-3034 SDR 35 SPECIFICATIONS, INSTALLED WITH SAND BEDDING AND BACKFILL OF TYPE II AGGREGATE BASE.
5. ALL MANHOLES PAVED IN STREETS EIGHTY (80') FOOT R/W AND LARGER SHALL HAVE CONCRETE COLLARS. STREETS LESS THAN EIGHTY (80') FOOT R/W WILL REQUIRE RETROFIT IF PAVING DOES NOT CONFORM TO CITY STANDARDS AT THE MANHOLE.
6. TEE SADDLES SHALL BE USED TO CONNECT SEWER LATERALS TO EXISTING MAIN LINES UP TO TWELVE INCH (12") DIAMETER. CONNECTIONS TO FIFTEEN INCH (15") OR LARGER MAINS SHALL REQUIRE SPECIAL PROCEDURES. IN LINE "Y" 'S SHALL BE USED ON LINES TWELVE INCHES (12") OR ABOVE.
7. WATER MAINS SHALL BE PROTECTED IN ACCORDANCE WITH LVVWD STANDARDS WHENEVER A SEWER MAIN CROSSES OVER A WATER MAIN OR THE SEWER IS LESS THAN EIGHTEEN INCH (18") UNDER A WATER MAIN.
8. ALL CONTRACTORS INSTALLING SEWER MAINS THAT WILL BE UNDER THE JURISDICTION OF THE CITY OF LAS VEGAS MUST BE STATE OF NEVADA CLASS "A" CONTRACTORS.
9. THE CITY OF LAS VEGAS WILL NOT ACCEPT ANY SEWER MAINS WHICH HAVE A VERTICAL DEFLECTION OF MORE THAN ONE TENTH (0.1) OF A FOOT FROM THE APPROVED CONSTRUCTION PLANS AT ANY LOCATION. SEWER MAINS FOUND TO EXCEED THIS TOLERANCE WILL HAVE TO BE REPAIRED OR REMOVED OR REPLACED TO THE SATISFACTION OF THE CITY ENGINEER PRIOR TO ACCEPTANCE BY THE CITY OF LAS VEGAS.
10. INSTALLATION OF CURVED SEWER REQUIRES THE USE OF C-900 PIPE WHICH ALLOWS FOR PIPE DEFLECTION AT THE JOINTS.

LAS VEGAS FIRE & RESCUE GENERAL NOTES FOR HYDRANTS AND ACCESS

1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LAS VEGAS FIRE AND RESCUE ADOPTED FIRE CODE ORDINANCE # 6531 FOR HYDRANT SPECIFICATIONS AND HYDRANT INSTALLATION SPECIFICATIONS.
2. ONLY FIRE HYDRANTS THAT ARE ON THE LAS VEGAS VALLEY WATER DISTRICT'S – APPROVED PRODUCTS LIST ARE ALLOWED TO BE INSTALLED.
3. A PERMIT IS REQUIRED FROM LAS VEGAS FIRE AND RESCUE FOR THE INSTALLATION OF ON-SITE WATER LINES AND FIRE HYDRANTS. THE PERMIT AND CONTRACTORS MATERIAL TEST CERTIFICATE FOR UNDERGROUND PIPING FORM SHALL BE OBTAINED FROM THE FIRE PROTECTION ENGINEER BEFORE COMMENCEMENT OF WORK. IFC § 105.6.15
4. ON ANY RESIDENTIAL OR COMMERCIAL INSTALLATIONS, FIRE HYDRANTS SHALL BE INSTALLED AND FIRE APPARATUS ACCESS ROADS SHALL BE MAINTAINED BEFORE COMMENCEMENT OF ANY COMBUSTIBLE CONSTRUCTION. ALL FIRE HYDRANTS SHALL BE IN GOOD WORKING ORDER AND SHALL BE CAPABLE OF DELIVERING THE REQUIRED FIRE FLOW. IFC § 3310, § 3312
5. TO IDENTIFY THE FIRE HYDRANT LOCATIONS, THE CONTRACTOR SHALL PLACE A BLUE REFLECTIVE MARKER AT THE CENTER LINE OF THE STREET ADJACENT TO THE FIRE HYDRANTS. IFC § 507.5.7.3
6. ALL UNDERGROUND INSPECTIONS, PRESSURE AND FLUSH VERIFICATIONS OF ALL FIRE HYDRANTS AND FIRE LINES, SHALL BE CONDUCTED BEFORE COVERING THE LINES. CENTER LOADING IS ACCEPTABLE FOR THE HYDRO TESTS WITH PRIOR FIRE PREVENTION APPROVAL. IFC § 106.3
7. ALL ON-SITE UNDERGROUND WATER MAINS AND MATERIALS SHALL BE U.L. LISTED, A.W.W.A APPROVED AND SHALL BE RATED FOR THE APPROPRIATE WORKING PRESSURE. IFC § 507.2.1, NFPA 24
8. PAINTING OF CURBS, FIRE HYDRANTS, PADS, PROTECTION OF FIRE HYDRANTS FROM PHYSICAL DAMAGE, AND ALL OTHER WORK NECESSARY PER PLANS SHALL BE COMPLETED BEFORE APPROVAL BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION. IFC § 507
9. PRIVATE HYDRANTS SHALL BE PAINTED RED. IFC § 507.5.7.1
10. PRIOR TO THE FINAL OCCUPANCY, A FIRE FLOW TEST SHALL BE WITNESSED BY LAS VEGAS FIRE AND RESCUE, FIRE PREVENTION DIVISION TO VERIFY AVAILABILITY OF THE REQUIRED FIRE FLOW. IFC § 507
11. FIRE HYDRANT SPACING SHALL BE AS FOLLOWS: IFC § C102
    - RESIDENTIAL – 500 FT UNSPRINKLERED; 600 FT SPRINKLERED.
    - COMMERCIAL – 300 FT UNSPRINKLERED; 400 FT SPRINKLERED.
12. WHERE THE WATER MAINS ARE EXTENDED ALONG STREETS OR NEW STREETS ARE INSTALLED WHERE FIRE HYDRANTS ARE NOT NEEDED FOR PROTECTION OF THE STRUCTURES, FIRE HYDRANTS SHALL BE INSTALLED AT A MAXIMUM OF 1000 FT SPACING, TO PROVIDE FOR TRANSPORTATION HAZARDS. WHERE STREETS ARE PROVIDED WITH MEDIAN DIVIDERS OR HAVE FOUR (4) OR MORE TRAFFIC LANES AND HAVE A TRAFFIC COUNT OF MORE THAN 30,000 PER DAY, HYDRANTS ARE REQUIRED ON EACH SIDE OF THE STREET SPACED AT 500 FT ON AN ALTERNATING BASIS. IFC § C102.8
13. NO FIRE HYDRANTS SHALL BE LOCATED WITHIN THE RADIUS OF A CUL-DE-SAC OR WITHIN 20 FT OF THE PERIMETER OF THE RADIUS OF THE CUL-DE-SAC.
14. NO FIRE HYDRANTS SHALL BE LOCATED WITHIN 6 FT OF ANY CURB RETURN, DRIVEWAY, POWER POLE, STREETLIGHT OR ANY OTHER OBSTRUCTION. IFC § C102.10
15. A MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A ONE-TWO FAMILY DWELLING SHALL NOT EXCEED 300 FT, AS MEASURED BY AN APPROVED ROUTE. IFC § C102.4
16. THE MAXIMUM DISTANCE FROM A FIRE HYDRANT TO A FIRE DEPARTMENT CONNECTION (FDC) SHALL NOT EXCEED 100 FT, AS MEASURED BY AN APPROVED ROUTE. IFC § C102.7
17. THE MAXIMUM DISTANCE FROM A HYDRANT TO THE END OF A DEAD-END STREET SHALL NOT EXCEED 200 FT. IFC § C102.6
18. TWO (2) SOURCES OF SUPPLY ARE REQUIRED WHENEVER THERE IS 4 OR MORE FIRE HYDRANTS/SPRINKLER LEAD-INS ARE INSTALLED ON A SINGLE SYSTEM. FOR SYSTEMS REQUIRED TO HAVE TWO (2) SOURCES OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 2 FIRE HYDRANTS AND/OR FIRE SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION. FOR SYSTEMS PERMITTED TO HAVE ONE SOURCE OF WATER SUPPLY, SECTIONAL CONTROL VALVES SHALL BE INSTALLED SO THAT NO MORE THAN 3 FIRE HYDRANTS AND/OR FIRE SPRINKLER LEAD-INS CAN BE OUT OF SERVICE DUE TO A SERVICE INTERRUPTION. IFC § C104
19. ALL FIRE APPARATUS ACCESS ROADS SHALL BE PAVED TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES, AND SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF THE FIRE APPARATUS. IFC § 503.2.3
20. THE GRADIENT FOR THE FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 12%. ANGLES OF APPROACH AND ANGLES OF DEPARTURE SHALL NOT EXCEED 6% FOR 25 FT PRIOR TO OR AFTER THE GRADE CHANGE. ADJACENT TO THE STRUCTURES GRADIENT SHALL NOT EXCEED 6%. IFC § 503.2.7, § 503.2.8
21. THE TURNING RADIUS OF THE FIRE APPARATUS ACCESS ROADS SHALL BE NO LESS THAN 52 FT OUTSIDE AND 28 FT INSIDE TURNING RADIUS. IFC § 503.2.4
22. VERTICAL CLEARANCE OF ALL FIRE APPARATUS ACCESS ROADS SHALL NOT BE LESS THAN 13FT 6 INS. IFC § 503.2.1
23. FIRE DEPARTMENT ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF NOT LESS THAN 33 FT WITH PARKING ON BOTH SIDES MEASURED TO FACE OF CURB. NOT LESS THAN 28 FT WIDE WITH PARKING RESTRICTED TO ONE SIDE MEASURED TO FACE OF CURB. NOT LESS THAN 24 FT WIDE WITH NO PARKING ON EITHER SIDE MEASURED TO FACE OF CURB. FIRE LANES THROUGH PARKING LOTS SHALL BE NOT LESS THAN 24 FT. IFC § 503.2.1.1
24. A FIRE APPARATUS ACCESS ROAD SHALL BE REQUIRED WHEN ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY IS LOCATED MORE THAN 150 FT FROM A FIRE DEPARTMENT VEHICLE ACCESS. IFC § 503.1.1
25. APPROVED SECONDARY FIRE APPARATUS ACCESS SHALL BE PROVIDED FOR 200 OR MORE DWELLING UNITS, ROAD(S) WITH DEAD-ENDSOR A SINGLE POINT OF ACCESS IN EXCESS OF 600 FT. CLV REGULATION AND MOU
26. ALL DEAD-END FIRE APPARATUS ROADS AND/OR FIRE LANES, PUBLIC OR PRIVATE, IN EXCESS OF 150 FT IN LENGTH SHALL BE PROVIDED WITH AN APPROVED TURN AROUND HAVING A MINIMUM DIAMETER OF 81 FT. CLV REGULATION
27. ALL FIRE APPARATUS ACCESS ROADS SHALL BE MARKED BY PLACING APPROVED SIGNS AT THE START OF THE DESIGNATED FIRE LANE, ONE SIGN AT THE END OF THE FIRE LANE AND WITH SIGNS AT INTERVALS OF 100 FT ALONG THE DESIGNATED FIRE LANES. SIGNS TO BE PLACED ON BOTH SIDES OF AN ACCESS ROADWAY IF NEEDED TO PREVENT PARKING ON EITHER SIDE. SIGNS TO BE INSTALLED NO HIGHER THAN 10 FT OR LESS THAN 6 FT FROM THE ROADWAY LEVEL. THE CURB ALONG OR ON THE PAVEMENT OR CEMENT (IF NO CURB IS PROVIDED) SHALL BE PAINTED WITH A RED WEATHER RESISTANT PAINT IN ADDITION TO THE SIGNS. IF



EXISTING LEGEND

- PROPERTY BOUNDARY LINE
- EXISTING EASEMENT
- CENTERLINE OF EXISTING ROADWAY
- ADJACENT PROPERTY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- EXISTING TREE
- EXISTING GAS MAIN
- EXISTING STORM STRUCTURES
- EXISTING STORM PIPE
- EXISTING SANITARY STRUCTURES
- EXISTING SANITARY
- EXISTING WATER MAIN
- EXISTING WATER STRUCTURES
- EXISTING UNDERGROUND ELECTRIC
- EXISTING TELEPHONE
- EXISTING LIGHT POLE
- DEMO CURB
- DEMO TREE
- DEMO HARDSCAPE
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE

DEMOLITION NOTES:

1. CONTRACTOR TO FIELD LOCATE ALL EXISTING ON-SITE UTILITIES PRIOR TO DEMOLITION ACTIVITIES.
2. ALL ITEMS DARK AND DASHED TO BE REMOVED OR REPLACED PER KEYED NOTES.
3. ALL PROPER EROSION CONTROL METHODS SHALL BE INSTALLED AND FUNCTIONAL PRIOR TO THE DISTURBANCE OF ANY EXISTING SURFACE.
4. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
5. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE IN LANDSCAPE PLAN.
6. PROTECT IN PLACE AND ADJUST LVVWD EXISTING FACILITIES TO FINISHED GRADE PER UDACS. ALL LVVWD FACILITIES SHALL BE ACCESSIBLE AT ALL TIMES.

KEYED NOTES:

A. EXISTING ASPHALT PAVEMENT TO BE SAWCUT AND REMOVED.
B. EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
C. EXISTING CONCRETE CURB TO BE SAWCUT AND REMOVED.
D. EXISTING CONCRETE CURB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
E. EXISTING MONUMENT SIGN TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
F. EXISTING WALL TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
G. EXISTING UTILITY STRUCTURE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
H. EXISTING TREE TO BE REMOVED.
I. EXISTING TREE/SHRUB TO REMAIN. CONTRACTOR TO PROTECT IN PLACE. SEE LANDSCAPE PLAN FOR DETAIL.
J. EXISTING IRRIGATION LINE TO BE REMOVED AND REPLACED TO PROVIDE CONTINUITY.
K. EXISTING SANITARY SEWER MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
L. EXISTING LIGHT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
M. EXISTING SIDEWALK TO BE REMOVED TO NEAREST JOINT.

APPROVED FOR CONSTUCTION

10/16/19

LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES

PROJECT NO. 136749 FIRST APPROVED DATE 10/16/19

PRJ-75291

107V8030
L19-01192

CORE STATES GROUP
6500 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
cfairbanks@core-states.com

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CLIENT

WDG VEGAS, LLC
4201 EAST YALE AVENUE, SUITE 140
DENVER, CO 80222

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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON OBSERVED EVIDENCE, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS DONE NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST TWO WORKING DAYS PRIOR TO CONSTRUCTION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD, LAS VEGAS, NV 89131

ENGINEER SEAL

PROFESSIONAL ENGINEER - STATE OF NEVADA
THOMAS C PICKERING
Exp: 12/31/2019
CIVIL
No. 14623
9/23/19

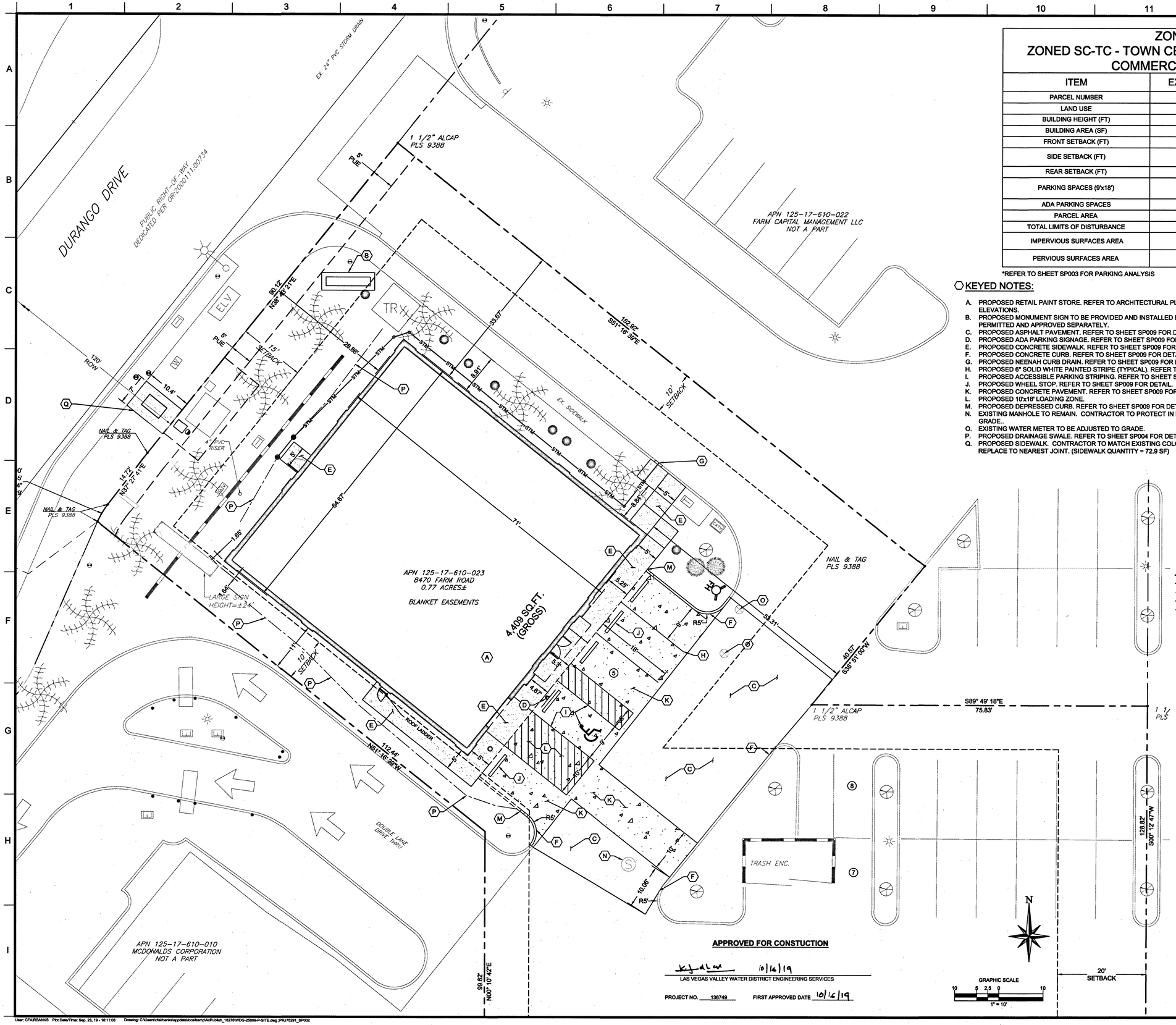
SHEET TITLE
DEMOLITION PLAN

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	1" = 20'
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP001
SHEET 4 OF 12

PROJ#:136749A QS:125-17-NE

User: CFAIRBANKS Plot Date/Time: Sep. 23, 19 - 16:11:00 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_16276\WDG-25889-P-SITE.dwg ;PRJ75291_SP001



ZONING DATA
ZONED SC-TC - TOWN CENTER DISTRICT WITH SERVICE COMMERCIAL DESIGNATION

ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL NUMBER	125-17-610-023	125-17-610-023
LAND USE	N/A	RETAIL
BUILDING HEIGHT (FT)	2 STORIES MAX.	1 STORY
BUILDING AREA (SF)	–	4,409 SF
FRONT SETBACK (FT)	15 FT	28.86 FT
SIDE SETBACK (FT)	10 FT	11 FT (SOUTHWEST) 33.67 FT (NORTHEAST)
REAR SETBACK (FT)	20 FT	53.31 FT
PARKING SPACES (9'x18')	51 EXISTING	49 SPACES* (INCLUDING 1 ADA SPACE)
ADA PARKING SPACES	2 SPACES	1 SPACE*
PARCEL AREA	0.770 AC (33,541 SF)	0.770 AC (33,541 SF)
TOTAL LIMITS OF DISTURBANCE	–	0.277 AC (12,073 SF)
IMPERVIOUS SURFACES AREA	0.530 AC (23,098 SF) 68.83%	0.638 AC (27,791 SF) 82.86 %
PERVIOUS SURFACES AREA	0.240 AC (10,443 SF) 31.17%	0.132 AC (5,750 SF) 17.14 %

*REFER TO SHEET SP003 FOR PARKING ANALYSIS

KEYED NOTES:

A. PROPOSED RETAIL PAINT STORE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
B. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. ALL SIGNAGE PERMITTED AND APPROVED SEPARATELY.
C. PROPOSED ASPHALT PAVEMENT. REFER TO SHEET SP009 FOR DETAIL.
D. PROPOSED ADA PARKING SIGNAGE. REFER TO SHEET SP009 FOR DETAIL.
E. PROPOSED CONCRETE SIDEWALK. REFER TO SHEET SP009 FOR DETAILS.
F. PROPOSED CONCRETE CURB. REFER TO SHEET SP009 FOR DETAIL.
G. PROPOSED NEENAH CURB DRAIN. REFER TO SHEET SP009 FOR DETAIL.
H. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET SP009 FOR DETAIL.
I. PROPOSED ACCESSIBLE PARKING STRIPING. REFER TO SHEET SP009 FOR DETAIL.
J. PROPOSED WHEEL STOP. REFER TO SHEET SP009 FOR DETAIL.
K. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET SP009 FOR DETAIL.
L. PROPOSED 10'x18' LOADING ZONE.
M. PROPOSED DEPRESSED CURB. REFER TO SHEET SP009 FOR DETAIL.
N. EXISTING MANHOLE TO REMAIN. CONTRACTOR TO PROTECT IN PLACE, ADJUST TO FINISH GRADE..
O. EXISTING WATER METER TO BE ADJUSTED TO GRADE.
P. PROPOSED DRAINAGE SWALE. REFER TO SHEET SP004 FOR DETAIL AND ELEVATIONS.
Q. PROPOSED SIDEWALK. CONTRACTOR TO MATCH EXISTING COLOR, FINISH, AND JOINTS. REPLACE TO NEAREST JOINT. (SIDEWALK QUANTITY = 72.9 SF)

SITE NOTES:

1. REFER TO SHEET SP008 FOR GENERAL NOTES.
2. REFER TO SHEET SP001 FOR DEMOLITION PLAN.
3. REFER TO SHEET SP004 FOR GRADING AND DRAINAGE PLAN.
4. REFER TO SHEET SP005 FOR UTILITY PLAN.
5. REFER TO SHEET LP001 FOR LANDSCAPE PLAN.
6. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
7. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE IN LANDSCAPE PLAN.

SITE INFORMATION

SITE ADDRESS:	8470 FARM ROAD LAS VEGAS, NV 89131
PARCEL NUMBER:	125-17-610-023
TOTAL LOT AREA:	33,541 SF / 0.77 AC
TOTAL BUILDING AREA:	4,409 SF
ZONING DESIGNATION:	TOWN CENTER DISTRICT WITH SERVICE COMMERCIAL DESIGNATION (SC-TC)

SITE LEGEND

- PROPERTY BOUNDARY LINE
- EXISTING EASEMENT
- CENTERLINE OF EXISTING ROADWAY
- ADJACENT PROPERTY LINE
- PROPOSED DRAINAGE SWALE CENTERLINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING LIGHT POLE
- EXISTING WATER STRUCTURES
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED ASPHALT
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED PARKING COUNT

APPROVED FOR CONSTUCTION

10/16/19
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES

PROJECT NO. 136749 FIRST APPROVED DATE 10/16/19

PRJ-75291

10TV8030
L19-01192

CORE STATES GROUP
6300 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
cfairbanks@core-states.com

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CLIENT
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DENVER, CO 80222

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REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD, LAS VEGAS, NV 89131

ENGINEER SEAL
PROFESSIONAL ENGINEER - STATE OF NEVADA
THOMAS C. PICKERING
Exp:12/31/2019
CIVIL
No. 14623
9/24/19

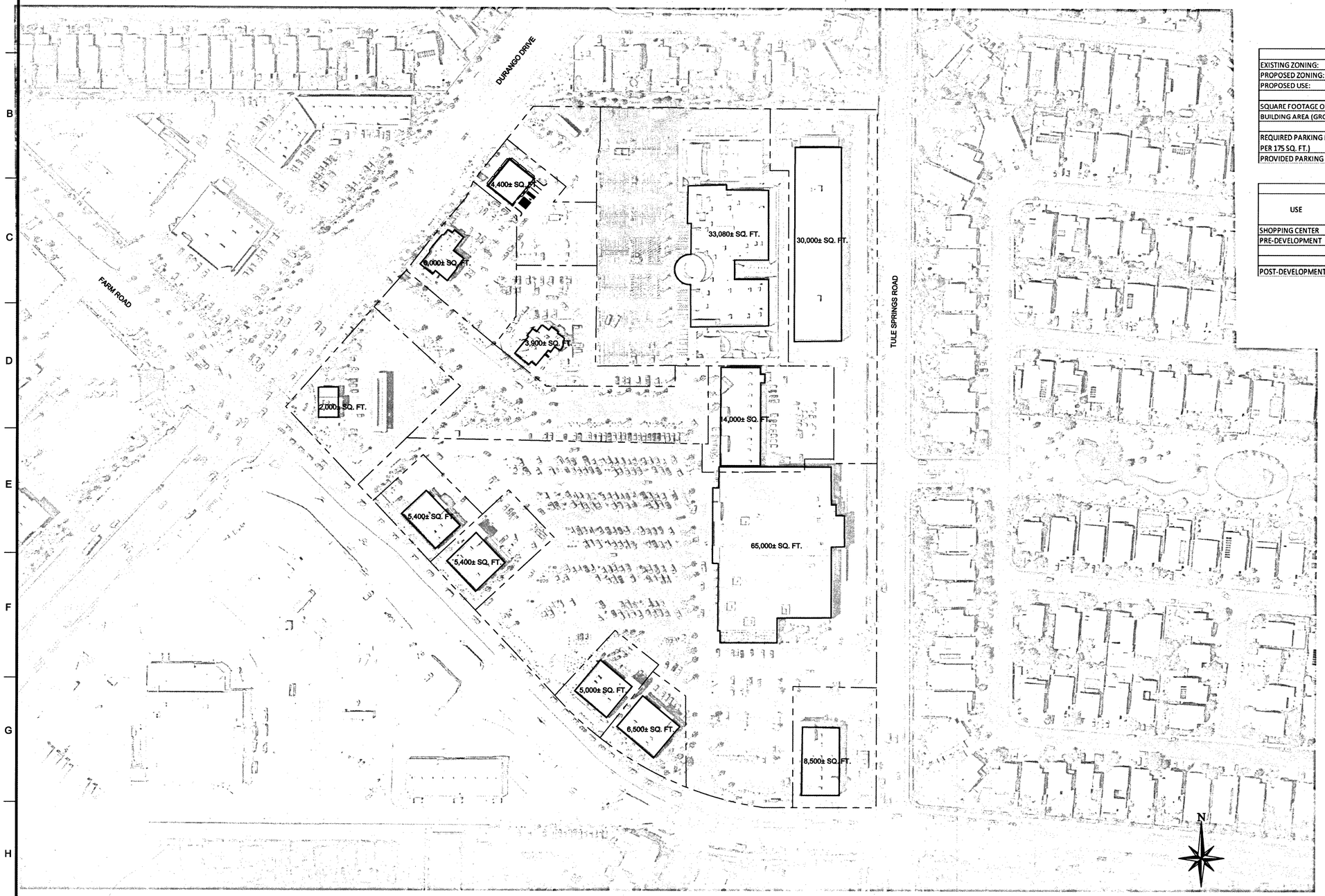
SHEET TITLE
SITE PLAN

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	1" = 10'
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP002
SHEET 5 OF 12

PROJ#:136749A QS:125-17-NE

User: CFAIRBANKS Plot Date/Time: Sep. 23, 19 - 16:11:03 Drawing: C:\Users\cfair\banks\appdata\local\temp\AcPublish_16276\WDG-25889-P-SITE.dwg ;PRJ75291_SP002



SITE DATA	
EXISTING ZONING:	SC-TC Service Commerce Town Center
PROPOSED ZONING:	SC-TC Service Commerce Town Center
PROPOSED USE:	RETAIL PAINT STORE ALLOWED BY RIGHT
SQUARE FOOTAGE OF SITE:	±33,541 SQ. FT. (0.77 ACRE)
BUILDING AREA (GROSS SQUARE FOOTAGE):	±4,400 SQ. FT. (0.1 ACRE)
REQUIRED PARKING PER EACH USE: (1 SPACE PER 175 SQ. FT.)	26 SPACES
PROVIDED PARKING PER EACH USE:	48 SPACES

USE	GROSS FLOOR AREA (SF)	PARKING REQUIREMENT					COMPLIANCE
		RAKING RATION	REQUIRED PARKING		PROVIDED PARKING		
			TOTAL	HC	TOTAL	HC	
SHOPPING CENTER							
PRE-DEVELOPMENT	189,780	1:250 SF	759	16	820	31	YES
POST-DEVELOPMENT	189,280	1:250 SF	758	16	817	32	YES

SITE INFORMATION

SITE ADDRESS: 8470 FARM ROAD
LAS VEGAS, NV 89131

PARCEL NUMBER: 125-17-610-023
TOTAL LOT AREA: 33,541 SF / 0.77 AC
TOTAL BUILDING AREA: 4,500 SF
ZONING DESIGNATION: TOWN CENTER DISTRICT WITH SERVICE COMMERCIAL DESIGNATION (SC-TC)

PRJ-75291

107V8030
L19-01192

CORE STATES GROUP
6500 Chippewa Street Suite 200
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PBarnett@core-eng.com

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DENVER, CO 80222

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REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD,
LAS VEGAS, NV 89131

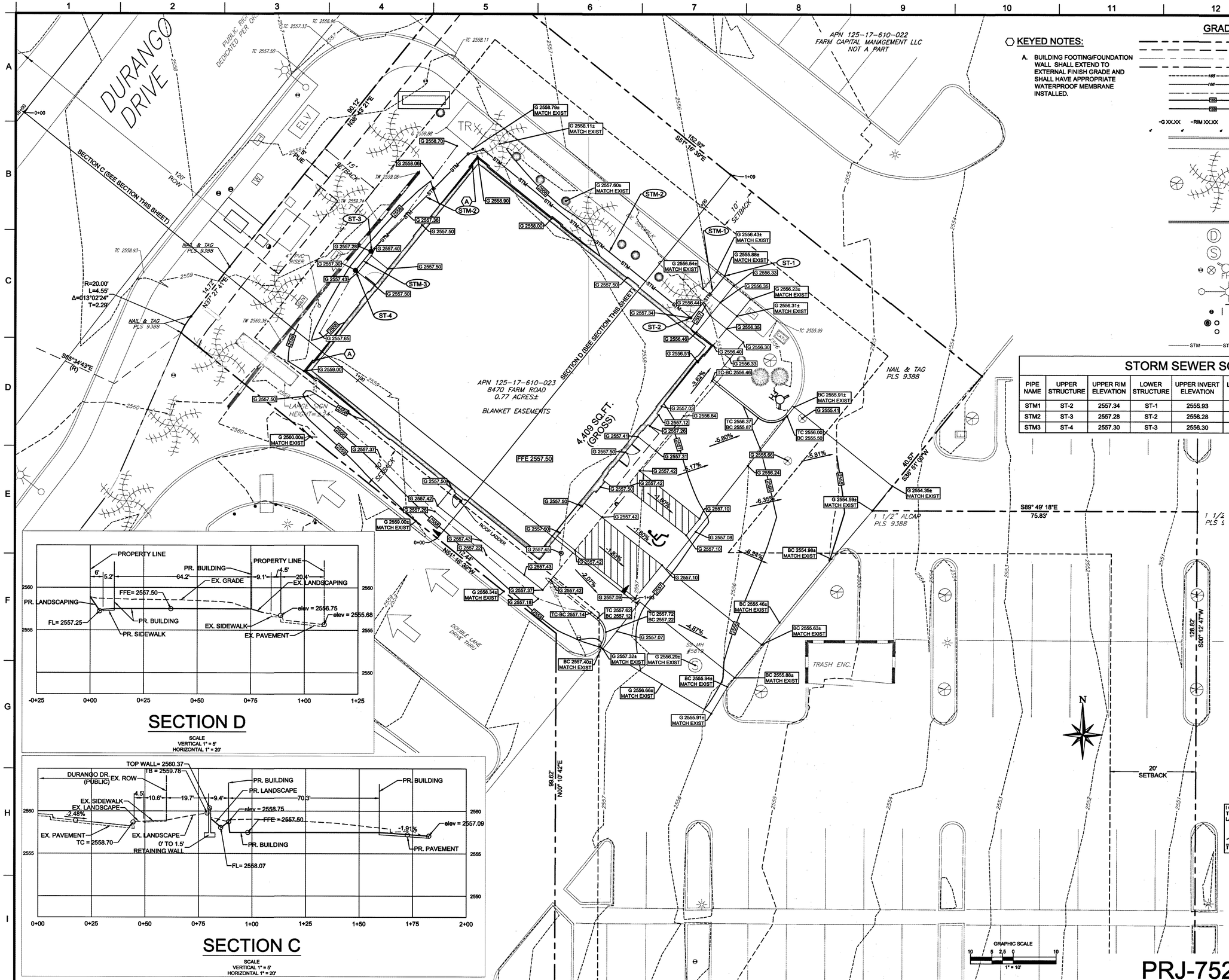
ENGINEER SEAL
PROFESSIONAL ENGINEER-STATE OF NEVADA
THOMAS C PICKERING
Exp:12/31/2019
CIVIL
No. 14623
9/2/19

SHEET TITLE
PARKING ANALYSIS

JOB #:	WDG-25889
DATE:	07/19/2019
SCALE:	1" = 100'
DRAWN BY:	CDF
CHECKED BY:	PTB

SHEET NO.
SP003
SHEET 6 OF 12

User: CFAIRBANKS Plot Date/Time: Jul. 19, 19 - 13:51:48 Drawing: P:\Wet Development Group\Las Vegas, NV (8470 Farm Road)-WDG.25889\CIVIL\Drawings\Concepts - Exhibits\WDG-25889-P-SITE (parking analysis).dwg SP003



KEYED NOTES:

A. BUILDING FOOTING/FOUNDATION WALL SHALL EXTEND TO EXTERNAL FINISH GRADE AND SHALL HAVE APPROPRIATE WATERPROOF MEMBRANE INSTALLED.

GRADING LEGEND

- PROPERTY BOUNDARY LINE
- EXISTING EASEMENT
- CENTERLINE OF EXISTING ROADWAY
- ADJACENT PROPERTY LINE
- EXISTING 5' INTERVAL CONTOUR LINE
- EXISTING 1' INTERVAL CONTOUR LINE
- PROPOSED DRAINAGE SWALE CENTERLINE
- PROPOSED 5' INTERVAL CONTOUR LINE
- PROPOSED 1' INTERVAL CONTOUR LINE
- -G XX.XX -RIM XX.XX -TC XX.XX PROPOSED SPOT SHOTS
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING TREE
- PROPOSED CURB
- EXISTING STORM STRUCTURES
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING LIGHT POLE
- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- STM STM EXISTING STORM PIPE

STORM SEWER SCHEDULE

PIPE NAME	UPPER STRUCTURE	UPPER RIM ELEVATION	LOWER STRUCTURE	UPPER INVERT ELEVATION	LOWER INVERT ELEVATION	PIPE LENGTH (FEET)	PIPE SIZE/TYPE	SLOPE
STM1	ST-2	2557.34	ST-1	2555.93	2555.88	12.50'	4" PVC	0.40%
STM2	ST-3	2557.28	ST-2	2556.28	2555.93	96.35'	6" PVC	0.37%
STM3	ST-4	2557.30	ST-3	2556.30	2556.28	5.00'	6" PVC	0.34%

GRADING NOTES:

1. REFER TO SHEET SP008 FOR GENERAL NOTES.
2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
3. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE IN LANDSCAPE PLAN.
5. ALL ONSITE STORM DRAIN FACILITIES ARE PRIVATELY OWNED AND PRIVATELY MAINTAINED.

FLOOD PLAIN NOTE:

DESIGNATED AS "OTHER AREAS" AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 32003C2545F REVISED SEPTEMBER 27, 2002.

ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

ZONE D AREAS IN WHICH FLOOD HAZARDS ARE UNDETERMINED, BUT POSSIBLE.

I CERTIFY THAT THIS GRADING PLAN IS IN CONFORMANCE WITH THE APPROVED DRAINAGE STUDY DS5143 ON FILE AT THE CITY OF LAS VEGAS FOR THIS PROJECT

THOMAS C. PICKERING, P.E. NO. 014623 — DATE 9/24/19

PRJ-75291

107V8030
L19-01192

CORE STATES GROUP
6500 Chippewa Street Suite 200
St. Louis, MO 63109
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cfairbanks@core-states.com

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REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD, LAS VEGAS, NV 89131

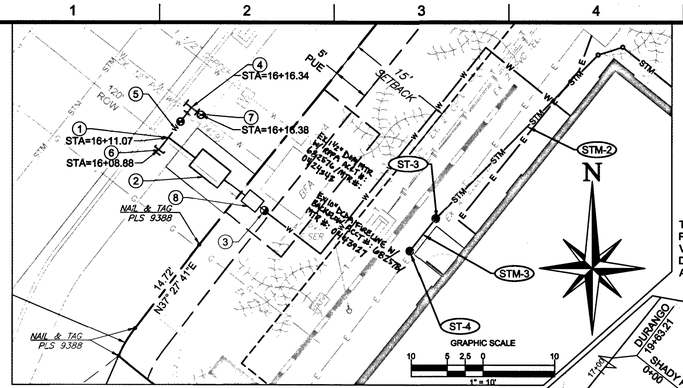
ENGINEER SEAL
PROFESSIONAL ENGINEER - STATE OF NEVADA
THOMAS C PICKERING
Exp:12/31/2019
CIVIL
No. 14623
9/24/19

SHEET TITLE
GRADING PLAN

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	1" = 10'
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP004
SHEET 7 OF 12

User: CFAIRBANKS Plot Date/Time: Sep. 23, 19 - 16:11:10 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_16276\WDG-25889-P-SITE.dwg ;PRJ75291_SP004



WATER CONNECTION DETAIL

WATER NOTES

		QTY
1.	INSTALL 1" SERVICE SADDLE & CORPORATION STOP (PER UDACS PLT #4)	1 EA
2.	INSTALL 1" TYPE K COPPER SERVICE LAT W/ 1" METER (PER UDACS PLT #4 & #8)	1 EA
3.	INSTALL CURB STOP IN 10" ROUND VALVE BOX FROM LVWD APPROVED PRODUCTS LIST	1 EA
4.	INSTALL 12" X 6" TAPPING SLEEVE W/ TAPPING VALVE PER UDACS PLATE # 34 & #39 (UDACS 2.24.01 B)	1 EA
5.	INSTALL6" DIP	8 LF
6.	INSTALL CAP WITH NO BLOW OFF (PER UDACS PLT #31)	1 EA
7.	INSTALL 12" GATE VALVE (PER UDACS PLT # 39)	1 EA
8.	INSTALL 1" RPPA (PER UDACS PLT #4 & #8)	1 EA

THIS PROPERTY MAY HAVE STATIC WATER PRESSURE IN EXCESS OF 80 PSI. THE UNIFORM PLUMBING CODE REQUIRES THAT INDIVIDUAL, ON-SITE (PRIVATE), PRESSURE-REDUCING VALVES (PRV) BE INSTALLED WHENEVER THE PRESSURE EXCEEDS 80 PSI. PRV'S ARE THE DEVELOPER'S RESPONSIBILITY, AND WILL NOT BE INSPECTED OR INCLUDED IN THE ACCEPTANCE OF LVVWD FACILITIES.

KEYED NOTES:

A. PROPOSED 1.5" COPPER (TYPE K) DOMESTIC WATER SERVICE LINE. MAINTAIN 36" OF COVER.
B. PROPOSED TIE IN LOCATION FOR DOMESTIC WATER SERVICE AT CURB STOP.
C. PROPOSED LOCATION FOR 1.5" COPPER (TYPE K) DOMESTIC WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
D. PROPOSED PVC (SCHEDULE 40) SANITARY SEWER SERVICE. REFER TO SANITARY SEWER SCHEDULE BELOW FOR DETAILS.
E. PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET SP009 FOR DETAIL.
F. PROPOSED SANITARY SEWER CONNECTION TO EXISTING SANITARY MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND INVERTS PRIOR TO CONSTRUCTION. (SEE UTILITY NOTE #7).
G. PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
H. PROPOSED POINT OF CONNECTION FOR TELEPHONE SERVICE LINE AT EXISTING UNDERGROUND LINE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY.
I. CONTRACTOR TO PROVIDE UNDERGROUND CONDUITS FOR TELEPHONE SERVICE. CONTRACTOR TO COORDINATE WITH TELEPHONE COMPANY FOR CONDUIT SPECIFICATIONS.
J. PROPOSED LOCATION FOR TELEPHONE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
K. PROPOSED UNDERGROUND CONDUIT FOR ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY FOR CONDUIT SPECIFICATIONS.
L. PROPOSED POINT OF CONNECTION FOR ELECTRICAL SERVICE AT EXISTING TRANSFORMER. CONTRACTOR TO COORDINATE WITH ELECTRICAL COMPANY.
M. PROPOSED LOCATION FOR ELECTRICAL SERVICE TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
N. PROPOSED 6" PVC DRAIN PIPE.
O. PROPOSED 4" PVC DRAIN PIPE.
P. PROPOSED 8" NYLOPLAST DRAIN BASIN WIHT DROP-IN GRATE. REFER TO SHEET SP007 FOR DETAIL.
Q. PROPOSED NEENAH CURB DRAIN. REFER TO SHEET SP009 FOR DETAIL.
R. PROPOSED STORM SEWER CLEANOUT.

UTILITY NOTES:

1. REFER TO SHEET SP008 FOR GENERAL NOTES.
2. REFER TO SHEET SP001 FOR DEMOLITION PLAN.
3. REFER TO SHEET C002 FOR SITE PLAN.
4. REFER TO SHEET SP004 FOR GRADING AND DRAINAGE PLAN.
5. REFER TO SHEET LP001 FOR LANDSCAPE PLAN.
6. REFER TO SHEET IR-1 FOR IRRIGATION PLAN.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
9. A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED AT ALL UTILITY CROSSINGS.

IRRIGATION NOTES:

A. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR IS TO VERIFY THE PRESENCE AND LOCATION OF ANY EXISTING IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE A PART OF THE SYSTEM.

B. IF EXISTING IRRIGATION SYSTEM IS NOT FUNCTIONING PROPERLY, CONTRACTOR SHALL CONTACT OWNER TO DISCUSS NEEDED REPAIRS OR DESIRE TO INSTALL NEW AUTOMATIC IRRIGATION SYSTEM FOR 100% COVERAGE. CONTRACTOR SHALL COORDINATE CONTROLLER LOCATION WITH OWNER AND LANDSCAPE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.

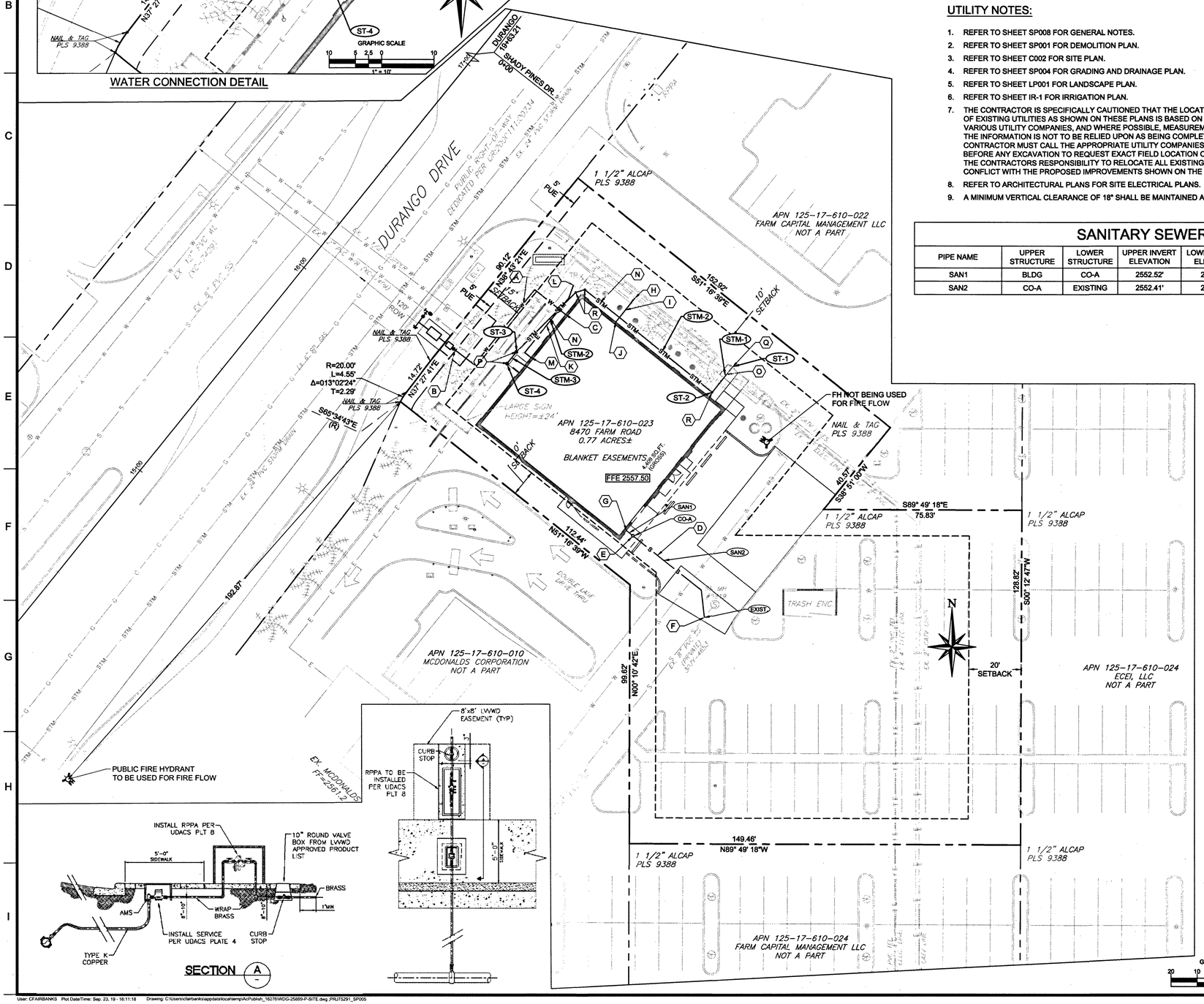
C. IF IRRIGATION SYSTEM IS IN GOOD OPERATION CONDITION, CONTRACTOR IS TO ADJUST/EXPAND THE EXISTING SYSTEM AS NECESSARY TO MAINTAIN COVERAGE AND PROVIDE 100% COVERAGE TO ANY NEW LANDSCAPE AREAS PER THE OWNER'S DIRECTION. IF ANY EXISTING COMPONENTS ARE DAMAGED DURING CONSTRUCTION, THEY MUST BE FIXED AT THE CONTRACTOR'S EXPENSE.

SANITARY SEWER SCHEDULE

PIPE NAME	UPPER STRUCTURE	LOWER STRUCTURE	UPPER INVERT ELEVATION	LOWER INVERT ELEVATION	PIPE LENGTH (FEET)	PIPE SIZE/TYPE	SLOPE
SAN1	BLDG	CO-A	2552.52'	2552.41'	2.70'	6" PVC	4.00%
SAN2	CO-A	EXISTING	2552.41'	2550.67'	43.60'	6" PVC	4.00%

UTILITY LEGEND

PROPERTY BOUNDARY LINE
EXISTING EASEMENT
CENTERLINE OF EXISTING ROADWAY
ADJACENT PROPERTY LINE
EXISTING CURB
EXISTING EDGE OF PAVEMENT
EXISTING TREE
PROPOSED CURB
EXISTING STORM STRUCTURES
EXISTING SANITARY STRUCTURES
EXISTING WATER STRUCTURES
EXISTING LIGHT POLE
PROPOSED WATER STRUCTURES
PROPOSED STORM STRUCTURES
PROPOSED SANITARY STRUCTURES
EXISTING GAS MAIN
EXISTING STORM PIPE
EXISTING SANITARY
EXISTING WATER MAIN
EXISTING UNDERGROUND ELECTRIC
EXISTING TELEPHONE
PROPOSED WATER
PROPOSED SANITARY
PROPOSED ELECTRIC
PROPOSED TELEPHONE



SECTION A

FIRE FLOW CALCULATIONS:

FIRE FLOW REQUIREMENT IS 1,500 GMP @ 20 PSI FOR 2 HRS

BASED ON:

SQUARE FOOTAGE:	4,409 (0-5,900)
LARGEST FIRE AREA:	4,409
BUILDING HEIGHT:	27' - 4"
NUMBER OF STORIES:	1 STORY
TYPE OF CONSTRUCTION:	III-B
OCCUPANCY:	(M) MERCANTILE, MAX OCC. 72 PERSONS
FULL AUTOMATIC FIRE SPRINKLER SYSTEM:	NO
NUMBER OF HYDRANTS:	1

ONSITE PRIVATE FIRE HYDRANT NOT USED DUE TO LACK OF CC&R'S PER LVVWD.
NEAREST PUBLIC HYDRANT SHOWN AND USED FOR CALCULATION.

REVIEWED BY: LAS VEGAS FIRE DEPARTMENT DATE: 10-1-19

APPROVED FOR CONSTUCTION

10/16/19
LAS VEGAS VALLEY WATER DISTRICT ENGINEERING SERVICES
PROJECT NO. 136749 FIRST APPROVED DATE 10/16/19
LVVWD APPROVED FIRE FLOW: TOTAL 1,500 GPM / ONSITE N/A GPM

PRJ-75291

10TV8030
L19-01192

CORE STATES GROUP
6500 Chippewa Street Suite 200
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REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD,
LAS VEGAS, NV 89131

ENGINEER SEAL
PROFESSIONAL ENGINEER STATE OF NEVADA THOMAS C PICKERING Exp:12/31/2019 CIVIL No. 14823
9/23/19

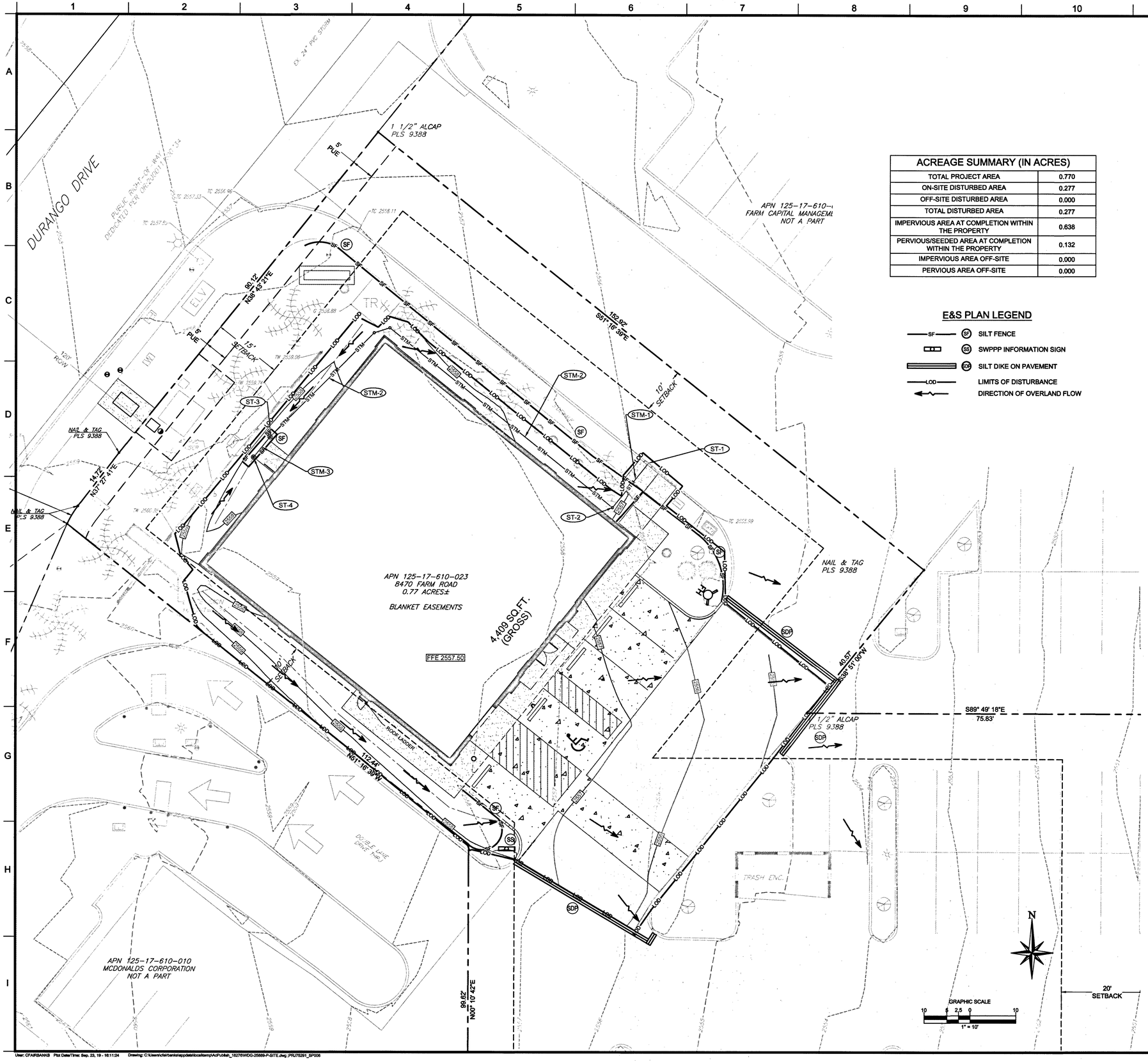
SHEET TITLE
UTILITY PLAN

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	1" = 10'
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP005
SHEET 8 OF 12

PROJ#:136749A QS:125-17-NE

User: CFAIRBANKS Plot Date/Time: Sep. 23, 19 - 16:11:18 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_16276\WDG-25889-P-SITE.dwg ;PRJ75291_SP005



ACREAGE SUMMARY (IN ACRES)

TOTAL PROJECT AREA	0.770
ON-SITE DISTURBED AREA	0.277
OFF-SITE DISTURBED AREA	0.000
TOTAL DISTURBED AREA	0.277
IMPERVIOUS AREA AT COMPLETION WITHIN THE PROPERTY	0.638
PERVIOUS/SEEDED AREA AT COMPLETION WITHIN THE PROPERTY	0.132
IMPERVIOUS AREA OFF-SITE	0.000
PERVIOUS AREA OFF-SITE	0.000

E&S PLAN LEGEND

- SF — SILT FENCE
- SS — SWPPP INFORMATION SIGN
- SDP — SILT DIKE ON PAVEMENT
- LOD — LIMITS OF DISTURBANCE
- DIRECTION OF OVERLAND FLOW

GENERAL EROSION NOTES

1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION MEETING.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
21. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
22. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
3. THE SILT DIKES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC ROADWAYS.

PRJ-75291

10748030
L19-01192

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REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD, LAS VEGAS, NV 89131

ENGINEER SEAL

PROFESSIONAL ENGINEER STATE OF NEVADA
THOMAS C. PICKERING
Exp:12/31/2019
CIVIL
No. 14923

9/23/19

SHEET TITLE
EROSION CONTROL PLAN

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	1" = 10'
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP006
SHEET 9 OF 12

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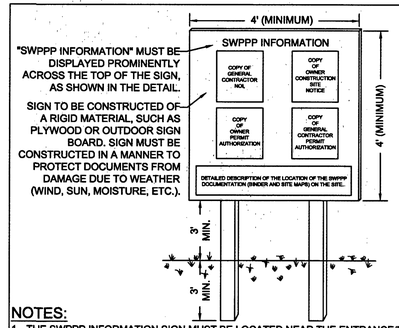
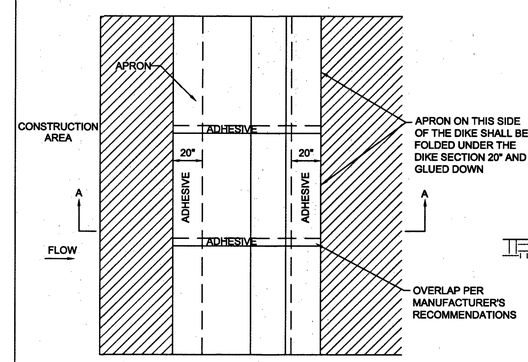


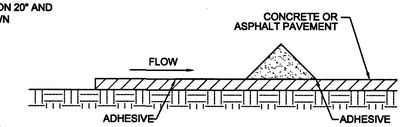
NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE ENTRANCE/EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE/VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE NOTICE-OF-TERMINATION (NOT) IS FILED FOR THE PERMIT.
3. CONTRACTOR SHALL POST OTHER STORM WATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE LOCAL AGENCY.
4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THIS SWPPP INFORMATION SIGN.

SWPPP INFORMATION SIGN (SS)



DIKE PLAN VIEW

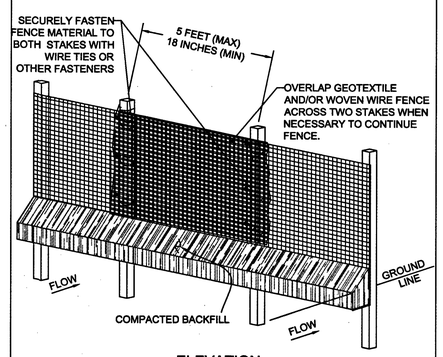


SECTION A-A

DETAIL NOTES:

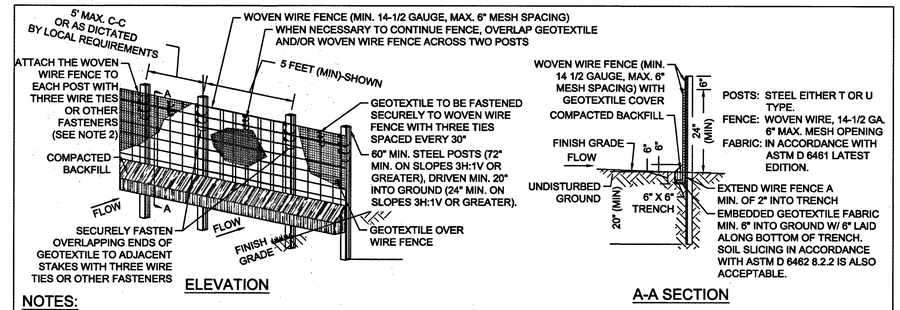
1. INSTALLED SILT DIKE UNIT SHALL HAVE CONTINUOUS AND FIRM CONTACT WITH SURFACE.
2. ADHESIVES SHALL BE LIQUID NAIL OR APPROVED EQUAL FOR CONCRETE PAVEMENT APPLICATIONS AND EMULSIFIED ASPHALT FOR ASPHALT APPLICATIONS.
3. ADHESIVE SHALL BE PLACED WHERE THE UNITS OVERLAP AND ON A 20" STRIP ALONG BOTH EDGES.

SILT DIKE ON PAVEMENT (SDP)



ELEVATION

OVERLAP OF SEDIMENTATION/SILT FENCE



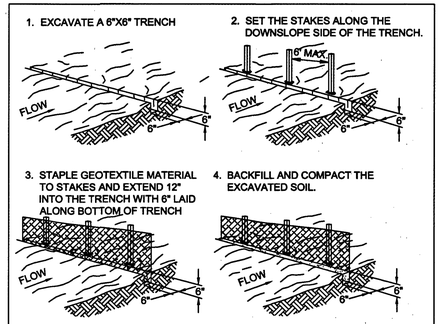
ELEVATION

A-A SECTION

NOTES:

1. INSTALLATION SHALL COMPLY WITH ASTM D 6462 LATEST EDITION.
2. ATTACH THE WOVEN WIRE FENCE TO EACH POST AND THE GEOTEXTILE TO THE WOVEN WIRE FENCE (SPACED EVERY 30") WITH THREE WIRE TIES OR OTHER FASTENERS, ALL SPACED WITHIN THE TOP 8" OF THE FABRIC. ATTACH EACH TIE DIAGONALLY 45 DEGREES THROUGH THE FABRIC, WITH EACH PUNCTURE AT LEAST 1" VERTICALLY APART. ALSO, EACH TIE PLACED ON A POST SHOULD BE POSITIONED TO HANG ON A POST NIPPLE WHEN TIGHTENED TO PREVENT SAGGING.
3. WHEN TWO SECTIONS OF GEOTEXTILE ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED ACROSS TWO POSTS, 60" MIN. AS SHOWN.
4. MAINTENANCE SHALL BE PERFORMED AS NOTED IN THE SWPPP. DEPTH OF ACCUMULATED SEDIMENTS MAY NOT EXCEED ⅓ THE HEIGHT OF THE FENCE. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ½ THE HEIGHT OF THE FENCE FABRIC ABOVE GRADE.
5. ALL SILT FENCE SHALL INCLUDE WIRE SUPPORT UNLESS THE STATIC SLICING EQUIPMENT IS UTILIZED TO INSTALL THE FENCE PER DETAIL- SILT FENCE INSTALLATION (SLICING METHOD).
6. WRAP APPROXIMATELY 6" OF FABRIC AROUND THE END POSTS AND SECURE WITH 3 TIES.
7. COMPACTING IS VITALLY IMPORTANT FOR EFFECTIVE RESULTS. COMPACT THE SOIL IMMEDIATELY NEXT TO THE SILT FENCE FABRIC WITH THE FRONT WHEEL OF THE TRACTOR, SKID STEER, OR ROLLER EXERTING AT LEAST 60 POUNDS PER SQ. INCH. COMPACT THE UPSTREAM SIDE FIRST, AND THEN EACH SIDE TWICE FOR A TOTAL OF FOUR TRIPS.
8. ADD POST CAPS AS NEEDED BASED ON SITE CONDITIONS AND APPLICABLE AGENCY REQUIREMENTS.

SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)

POST: 2"X2" HARDWOOD OR T TYPE POST

FABRIC:

1. AMOCO 2130
2. BELTECH 940
3. MIRAFI 100CX
4. LING GTF 190
5. SI 915 SC

NOTES:

1) INSTALL IN ACCORDANCE WITH SILT FENCE DETAIL, EXCEPT AS NOTED ABOVE.
2) SILT FENCE WITHOUT WIRE SUPPORT SHOULD BE USED ON A LIMITED BASIS ONLY ALONG PERIMETERS WITH LESS THAN 1/4 ACRE DRAINAGE AREA PER 100 LINEAR FEET OF FENCE.

SEDIMENTATION/SILT FENCE WITHOUT WIRE SUPPORT

PRJ-75291

107V8030
L19-01192

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THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF UTILITIES SHOWN ON THESE DRAWINGS OR THOSE HAVE BEEN PLACED ON THESE DRAWINGS, REGARDLESS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, ACCURATELY PLOTTED FROM THE BEST INFORMATION AVAILABLE, DOES NOT GUARANTEE THAT LOCATION SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION OPERATION TO PRESENT EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV	DATE	COMMENT

DOCUMENT
PROPOSED SITE PLAN FOR RETAIL PAINT STORE

SITE LOCATION
8470 FARM ROAD,
LAS VEGAS, NV 89131

ENGINEER SEAL

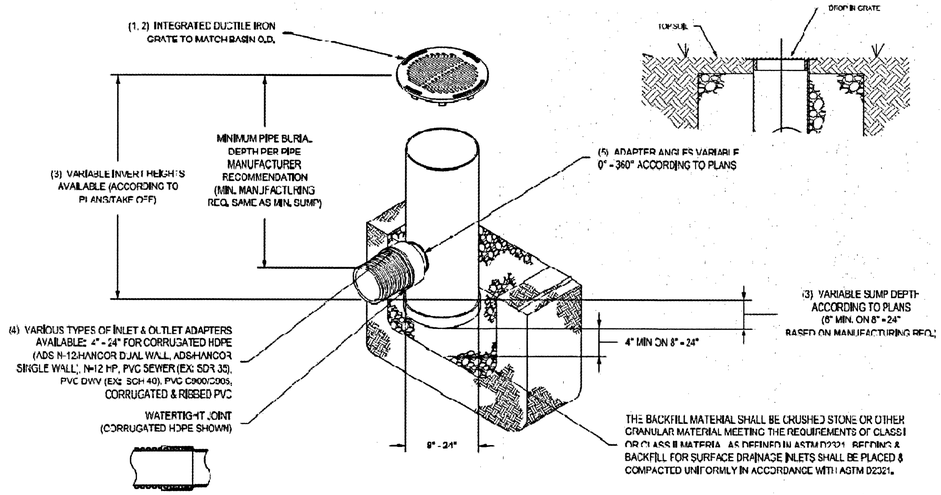
PROFESSIONAL ENGINEER, STATE OF NEVADA
THOMAS C PICKERING
Exp: 12/31/2019
CIVIL
No. 14823
9/24/19

SHEET TITLE
EROSION CONTROL DETAILS

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	N/A
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP007
SHEET 10 OF 12

NYLOPLAST DRAIN BASIN WITH DROP-IN GRATE



1 - 8" - 24" DROP-IN GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL), N-12 HP, & PVC SEWER (4" - 24").
4 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.
5 - 8" - 24" DOME GRATES HAVE A LIGHT DUTY RATING.

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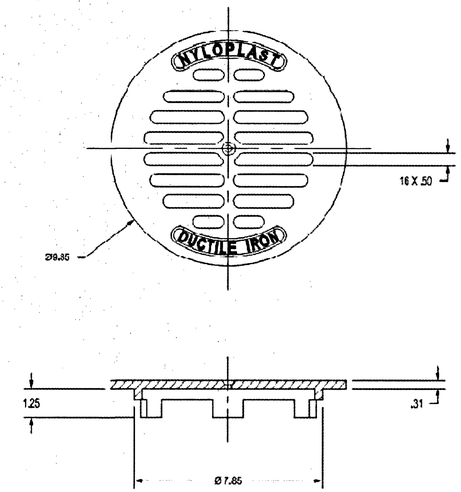
DRAWN BY NMH	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE 09-18-15		TITLE	DRAIN BASIN WITH DROP-IN GRATE QUICK SPEC INSTALLATION DETAIL
APPD BY NMH	PROJECT NO./NAME		
DATE 09-18-15			
DWG SIZE A	SCALE 1:40 SHEET 1 OF 1	DWG NO. 7001-110-095	REV A

0801DI

APPROX. DRAIN AREA = 19.33 SQ IN
APPROX. WEIGHT = 3.80 LBS



DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
GRATE HAS LIGHT DUTY RATING
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
SIZE OF OPENING MEETS REQUIREMENTS OF AMERICAN DISABILITY ACT AS STATED IN FEDERAL REGISTER PART III, DEPARTMENT OF JUSTICE, 28 CFR PART 36.

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DRAWN BY AWA	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplastnws.com
DATE 3-5-08		TITLE	8 IN DROP-IN
APPD BY JJC	PROJECT NO./NAME		
DATE 8-14-12			
DWG SIZE A	SCALE 1:1 SHEET 1 OF 1	DWG NO. 7001-110-011	REV D

Section 2721

Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

MATERIALS
The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin so as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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DRAWN BY CJA	MATERIAL	Nyloplast	3130 VERONA AVE BUFORD, GA 30518 PHN (770) 932-2443 FAX (770) 932-2490 www.nyloplast-us.com
DATE 3-10-03		TITLE	8 IN + 30 IN DRAIN BASIN SPECIFICATIONS
REVISED BY NMH	PROJECT NO./NAME		
DATE 03-11-16			
DWG SIZE A	SCALE 1:1 SHEET 1 OF 1	DWG NO. 7001-110-01'	REV H

PRJ-75291

107V8030
L19-01192

CORE STATES GROUP
8300 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
cfairbanks@core-states.com

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CLIENT
WDG VEGAS, LLC
4201 EAST YALE AVENUE, SUITE 140
DENVER, CO 80222

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NOTE: CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES SHOWN ON THE PLANS AS WELL AS OTHER UTILITIES NOT SHOWN ON THESE PLANS IN EXISTED DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE DETERMINED BY FIELD VERIFICATION. THE DESIGNER DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV	DATE	COMMENT

DOCUMENT
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8470 FARM ROAD,
LAS VEGAS, NV 89131

ENGINEER SEAL
PROFESSIONAL ENGINEER - STATE OF NEVADA
THOMAS C PICKERING
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No. 14823
9/24/19

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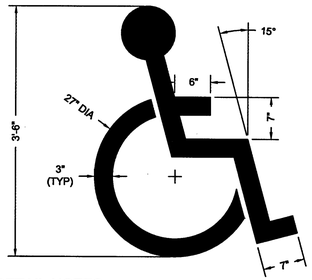
CONSTRUCTION DETAILS

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	N/A
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP008
SHEET 11 OF 12

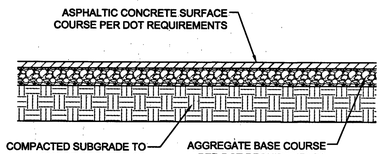
User: CFAIRBANKS Plot Date/Time: Sep, 23, 19 - 16:11:25 Drawing: C:\Users\cfairbanks\appdata\local\temp\AcPublish_16276\WDG-25889-P-SITE.dwg [PRJ75291_SP008]



DETAIL NOTES:
COLOR(S) SHALL COMPLY WITH ALL LOCAL REGULATIONS.

HANDICAP PARKING SYMBOL DETAIL

ASPHALT TYPE	LIGHT DUTY	HEAVY DUTY
ASPHALTIC CONCRETE BINDER COURSE	1.5"	1.5"
ASPHALTIC CONCRETE BASE COURSE	1.5"	2.0"
AGGREGATE BASE COURSE	8"	10"
COMPACTED SUBGRADE	12"	12"

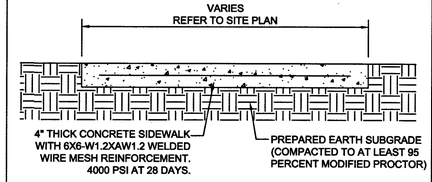


NOTE: THESE ARE MINIMUM SPECIFICATIONS, REFER TO GEOTECHNICAL REPORT (IF AVAILABLE) FOR FINAL SPECIFICATIONS.

DETAIL NOTES:

1. AGGREGATE BASE COURSE CAN BE LIMEROCK OR CRUSHED CONCRETE (LBR = 100). COMPACT BASE COURSE TO 98% OF THE MATERIALS MAXIMUM DRY DENSITY PER ASTM D-1557.
2. COMPACTED SUBGRADE TO ACHIEVE A MINIMUM LBR OF 40.

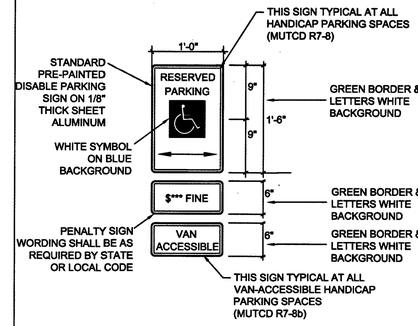
ASPHALT PAVING DETAIL



DETAIL NOTES:

1. PROVIDE ½" PREMOLDED EXPANSION JOINT FILLER AT 60' CENTERS, CHANGES IN DIRECTION, AND ABUTTING SEPARATE POURS.
2. PROVIDE TOOLED CONTRACTION JOINTS AT 10' CENTERS.
3. CONTRACTOR TO PREPARE SUBGRADE BASED ON RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION REPORT.

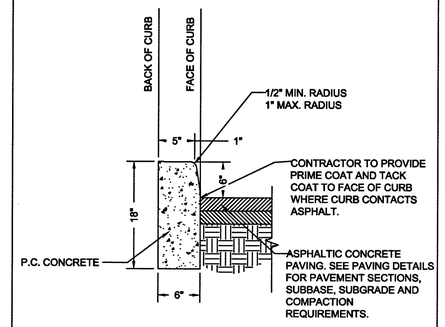
CONCRETE SIDEWALK DETAIL



NOTES:

1. ALL SIGN BACKGROUNDS SHALL BE RETROREFLECTIVE.
2. SIGNS TO BE MOUNTED AT LEAST 60" ABOVE THE PARKING SURFACE.
3. ALL SIGN LEGENDS AND BORDERS SHALL BE RETROREFLECTIVE.
4. REFER TO DOT AND MUTCD FOR SPECIFICATIONS.

ACCESSIBLE PARKING SIGN DETAIL



CONCRETE CURB DETAIL

SOLID PARKING SPACE LINE (4" WIDE WHITE)

SOLID PARKING LINE (4" WIDE BLUE)

SOLID LANE LINE (6" WIDE WHITE)

SOLID DOUBLE CENTER LINE (6" WIDE YELLOW)

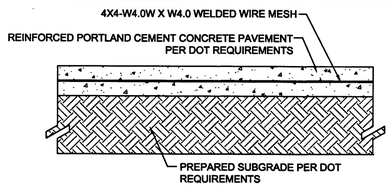
SOLID CROSSWALK TRANSVERSE LINE (12" WIDE WHITE)

SOLID STOP BAR LINE (24" WIDE WHITE)

DETAIL NOTE:
ALL STRIPING SHALL BE PAINTED UNLESS OTHERWISE SPECIFIED ON THE SITE PLAN AND SHALL MEET THE CRITERIA OF STATE AND LOCAL AUTHORITIES HAVING JURISDICTION.

STRIPING DETAIL

SLAB COMPONENT	CONCRETE SLAB LOCATION	
	DRIVEWAY	TRASH ENCLOSURE
CONCRETE PAVEMENT	6"	6"
AGGREGATE BASE COURSE	6"	6"
COMPACTED SUBGRADE	12"	12"
MINIMUM 28 DAY STRENGTH	4000 PSI	4000 PSI

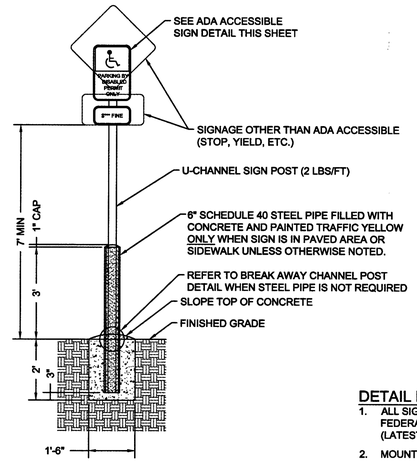


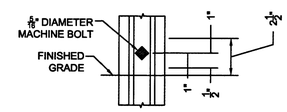
NOTE: THESE ARE MINIMUM SPECIFICATIONS, REFER TO GEOTECHNICAL REPORT (IF AVAILABLE) FOR FINAL SPECIFICATIONS.

DETAIL NOTES:

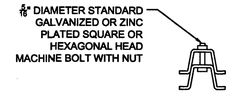
1. SUBGRADE MATERIALS SHALL MEET DOT REQUIREMENTS INCLUDING COMPACTION TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-1557.
2. CONCRETE PAVEMENT SHALL MEET THE MORE STRINGENT REQUIREMENT OF EITHER THE SPECIFICATIONS PROVIDED BY THE OWNER, LOCAL CITY/COUNTY REQUIREMENTS, OR DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
3. CONTRACTOR TO CONSTRUCT CONCRETE PAVEMENT WITH TRANSVERSE JOINTS AT 10' O.C. JOINTS TO BE CONSTRUCTED PER DETAIL ON THIS PAGE.
4. CONTRACTOR TO DOWEL AND JOINT BETWEEN CONCRETE SLAB AND CURB.

CONCRETE SLAB DETAIL





BREAK AWAY POST (ELEVATION)

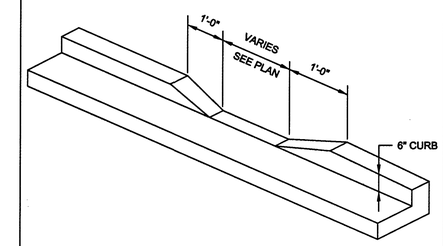


BREAK AWAY POST (PLAN)

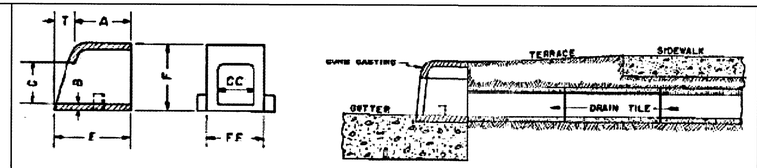
DETAIL NOTES:

1. ALL SIGNS SHALL COMPLY WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (LATEST EDITION), AND LOCAL CODES AS SPECIFIED.
2. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

SIGN POST DETAIL

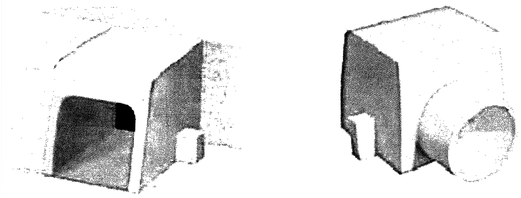


DEPRESSED CURB DETAIL



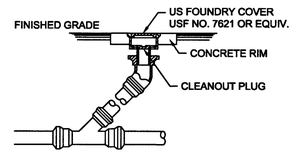
Description	A	B	C	C-C	E	E-E	F	T
Storm Water Curb Openings	5	1/2	4	5-1/2	6	6-1/2	6-1/2	1

All dimensions are listed in inches unless otherwise noted.



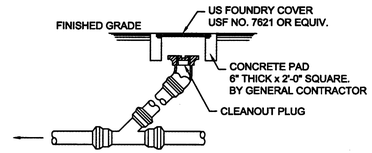
Rear view of R-3262-3 only. (optional)

NEENAH CURB DRAIN



CLEANOUT IN UNPAVED AREAS

NOTE:
G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.



CLEANOUT IN PAVED AREAS

NOTE:
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CLEANOUT DETAIL

PRJ-75291

107V8030
L19-01192

CORE STATES GROUP
8600 Chippewa Street Suite 200
St. Louis, MO 63109
Phone (314) 843-4320
clarkbank@core-states.com

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PROFESSIONAL ENGINEER-STATE OF NEVADA
THOMAS C. PICKERING
Exp:12/31/2019
CIVIL
No. 14623
6/28/19

SHEET TITLE
CONSTRUCTION DETAILS

JOB #:	WDG-25889
DATE:	09/23/2019
SCALE:	N/A
DRAWN BY:	CDF
CHECKED BY:	TCP

SHEET NO.
SP009
SHEET 12 OF 12